



Technical Set for

# Property Bank Australia

Level 4, 51 Berry Street  
North Sydney NSW 2060

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## For Construction

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Job Number: PH958

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Drawn By: Glenna Gale / Jayson Reed, Architect

Checked: Taren Hura / Elise Thompson, Interior Designer

**PARTITION NOTES**

1. THE PARTITION PLAN IS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS, ENGINEERS DRAWINGS AND SCHEDULES. **ADD FULL STOP AFTER THE WORD 'SCHEDULES' TO BE CONSISTANT WITH OTHER BULLET POINTS**
2. BASE BUILDING WORK REQUIREMENTS MUST BE COMPLIED WITH AT ALL TIMES. CONTRACTORS SHALL PROTECT ALL EXISTING BASE BUILDING FINISHES, STRUCTURE AND SYSTEMS DURING CONSTRUCTION. **CHANGE FROM COMMA TO FULL STOP AFTER THE WORD 'TIMES'**
3. PROVIDE TIMBER STUD REINFORCEMENT TO STEEL WALL FRAME WHERE WALLS ARE SHOWN WITH A HATCHED SURFACE. SURFACE INDICATES WALL HUNG ITEMS SUCH AS OVERHEAD CUPBOARDS, WALL MOUNTED SCREENS OR FULL HEIGHT JOINERY.
4. REFER TO THE DOOR SCHEDULE FOR ALL DOOR TYPE AND HARDWARE SPECIFICATIONS.

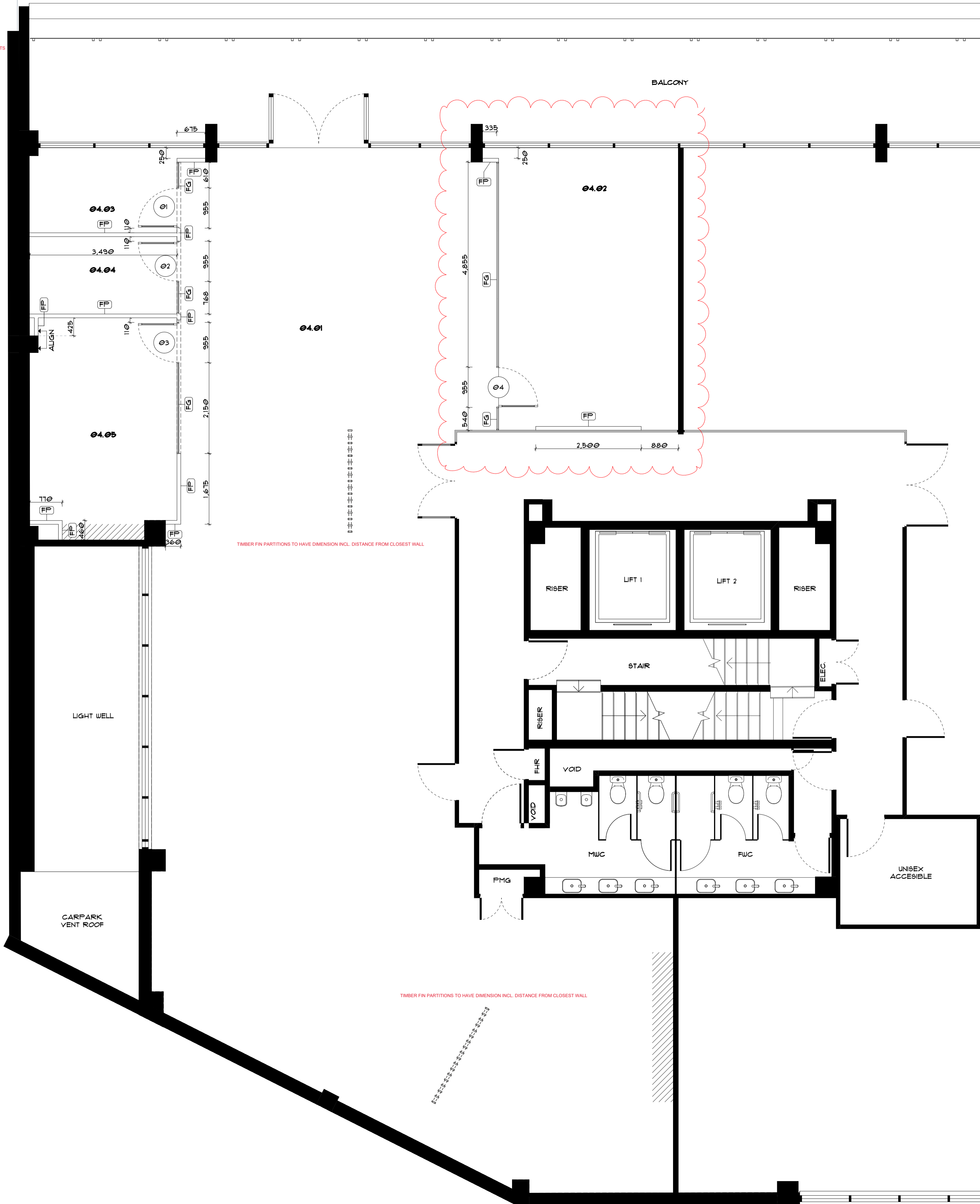
**PARTITION PLAN LEGEND**

-  DOOR NUMBER
-  FULL HEIGHT OR WALL HUNG JOINERY OR ITEM ALLOW FOR ADEQUATE SUPPORT IN WALL
-  EXISTING WALLS
-  NEW WALLS

**WALL TYPE DESCRIPTIONS**

**FP - FULL HEIGHT PLASTERBOARD PARTITION FROM FFL TO UNDERSIDE OF CEILING**  
 90MM THICK STANDARD PLASTERBOARD PARTITION CONSTRUCTED FROM 64MM METAL STUD WORK CLAD WITH 1 x 13MM PLASTERBOARD SHEET TO BOTH SIDES. PROVIDE 15MM THICK DACRON SOUND ABSORBING INSULATION WITHIN THE PARTITION CAVITY. TAPE BET AND SAND ALL JOINTS READY TO TAKE SPECIFIED PAINT FINISH. PROVIDE 100MM HIGH BLACK SKIRTING WITH CONCEALED FIXING. PROVIDE 25MM BLACK FLATBAR TO WALL/ CEILING JUNCTION.

**FG - FULL HEIGHT GLASS PARTITION FROM FFL TO UNDERSIDE OF CEILING, BLACK FINISH**  
 STANDARD GLASS PARTITION CONSTRUCTED USING 45 x 25 BLACK ALUMINIUM SNAP-IN GLAZING SECTIONS. PROVIDE SINGLE OR EQUALLY SPACED PANE OF GLASS BETWEEN MULLIONS. ALL GLAZED EXTERNAL CORNERS ARE TO BE MULLION FREE AND HAVE BUTT JOINT GLASS DETAIL. PROVIDE CLEAR GLASS TO PARTITION (TO MEET AUSTRALIAN STANDARDS) WITHIN THE GLAZING SYSTEM WITH SILICONE BUTT JOINTS WHERE REQUIRED.



TIMBER FIN PARTITIONS TO HAVE DIMENSION INCL. DISTANCE FROM CLOSEST WALL

TIMBER FIN PARTITIONS TO HAVE DIMENSION INCL. DISTANCE FROM CLOSEST WALL

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A	17.03.2020	GG	For Tender
B	17.04.2020	GG	For Construction
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**Property Bank Australia**

Level 4, 51 Berry Street  
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**For Construction**

**Partition Plan**

Job Number: PH958 Building Level: L04  
 Date: 29/04/2020 Scale: 1:50 @ A1  
 Drawn: GG Checked: EF

**200**

Drawing Issue:

C






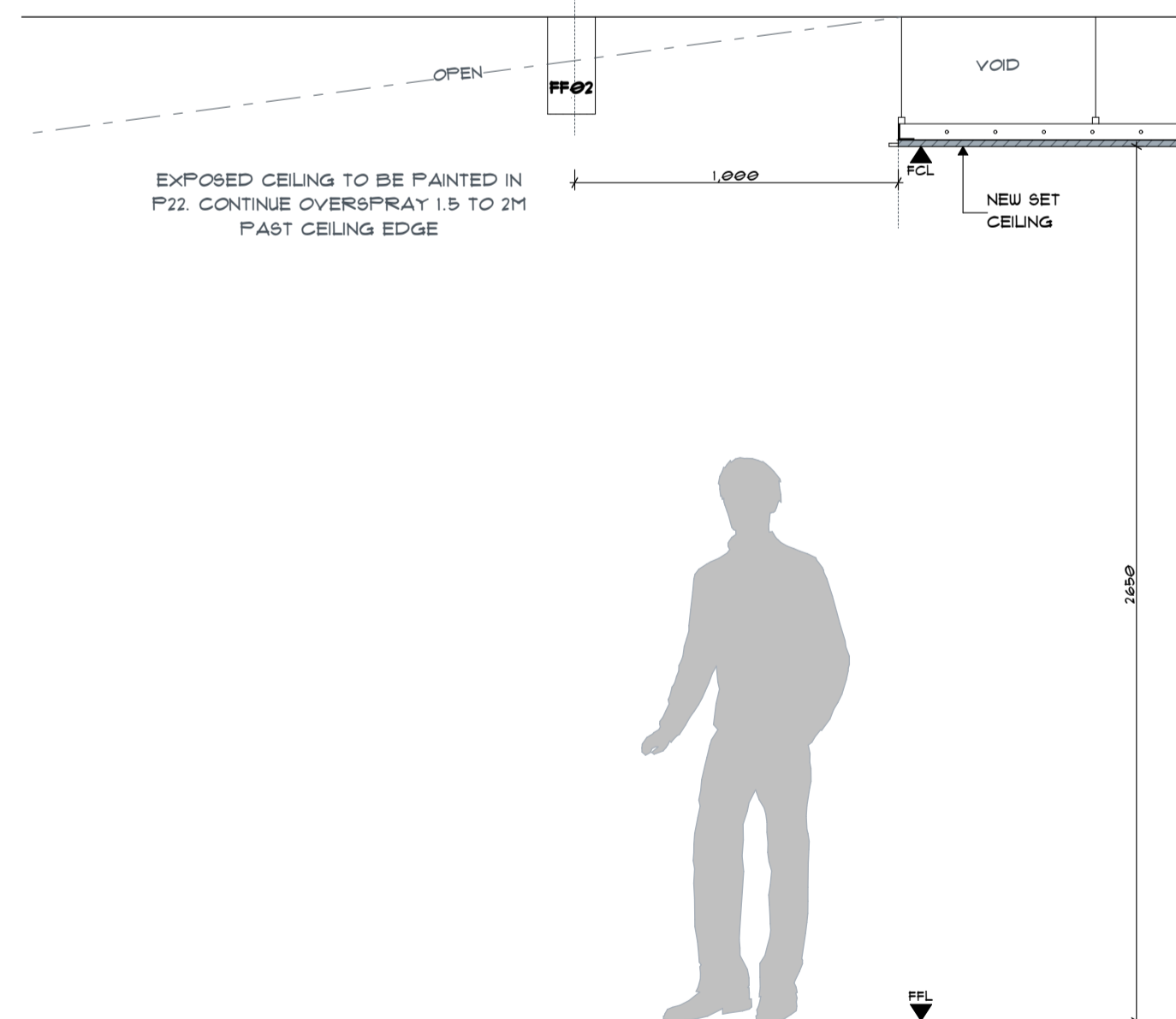
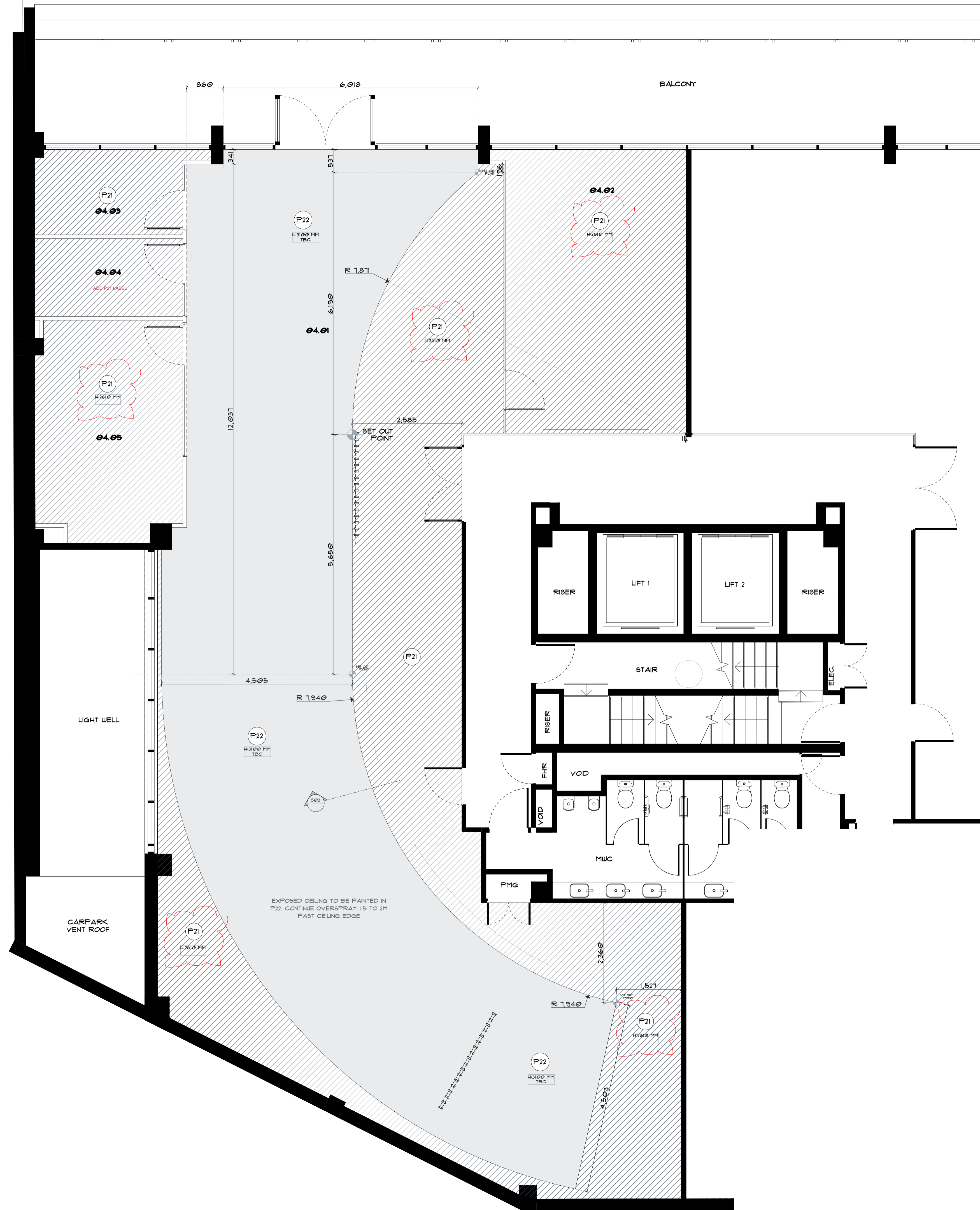
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**REFLECTED CEILING NOTES**

1. RELOCATE EXISTING LIGHT TROFFERS TO SUIT NEW PLAN LAYOUT.
2. INSTALL NEW LIGHT TROFFERS TO MATCH EXISTING WHERE NEEDED. REFER TO LAYOUT.
3. ALLOW TO RELOCATE SPRINKLERS, AIR CONDITIONER DIFFUSER, EXIT SIGNS, SPEAKERS (EWS) TO COMPLY WITH AUSTRALIAN STANDARDS AND NEW LAYOUT.

**REFLECTED CEILING PLAN LEGEND**

-  NEW SET CEILING PCL AT H3680MM
-  EXPOSED CEILING
-  CEILING SURFACE FINISH



**802 CEILING DETAIL**  
SCALE 1:20

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Level 4, 51 Berry Street  
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**For Construction**  
**Reflected Ceiling Plan**

Job Number: PH958 Building Level: L04  
Date: 29/04/2020 Scale: 1:50, 1:20 @ A1  
Drawn: GG Checked: EF

**300**

Drawing Issue:

C





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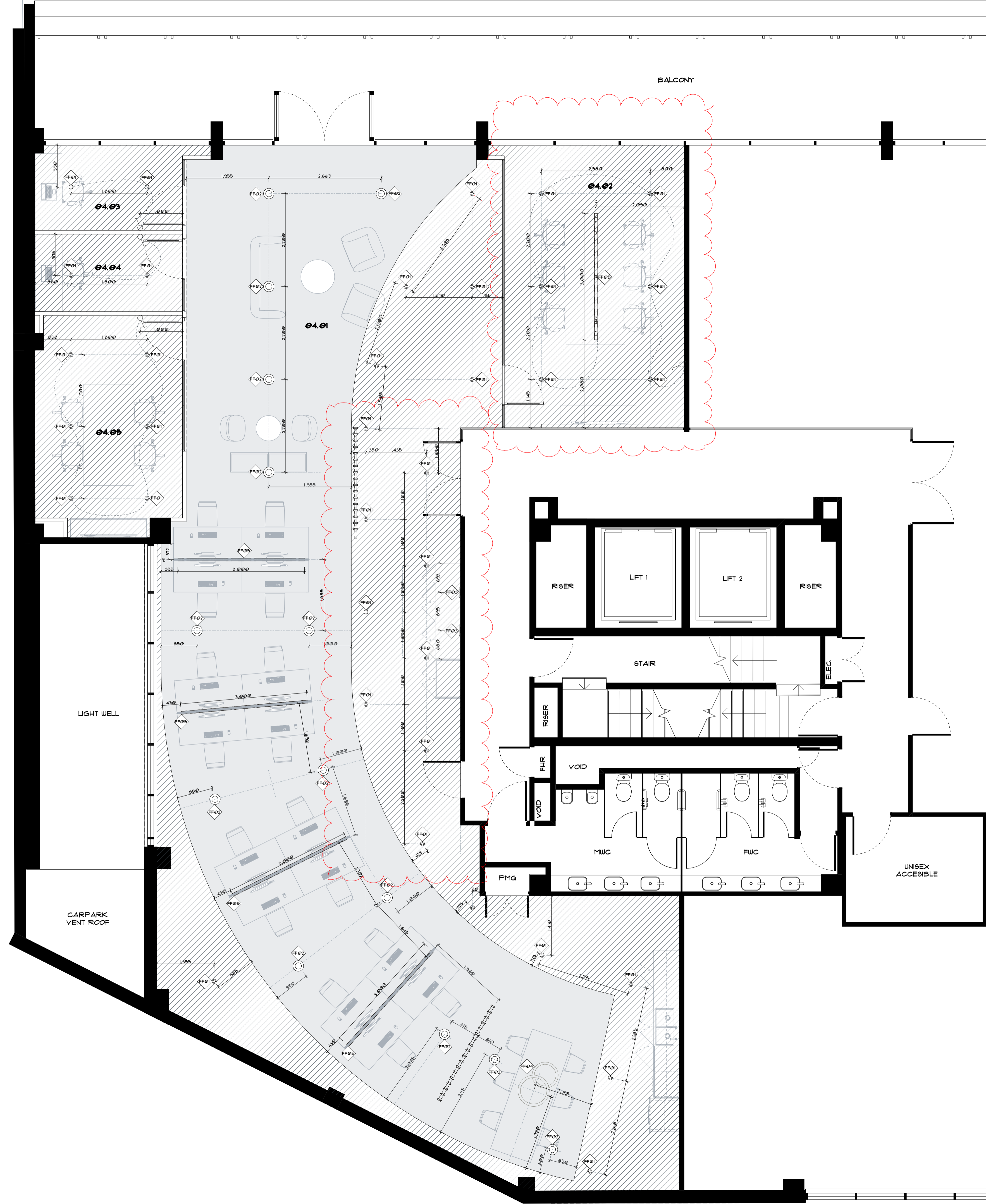
**REFLECTED CEILING NOTES**

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**LIGHTING PLAN LEGEND**

-  NEW LIGHT SWITCH
-  NEW MASTER LIGHT SWITCH

ADD



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**For Construction**

**Lighting Plan**

Job Number: PH958 Building Level: L04  
Date: 29/04/2020 Scale: 1:50 @ A1  
Drawn: GG Checked: EF

**301**

Drawing Issue:  
**C**

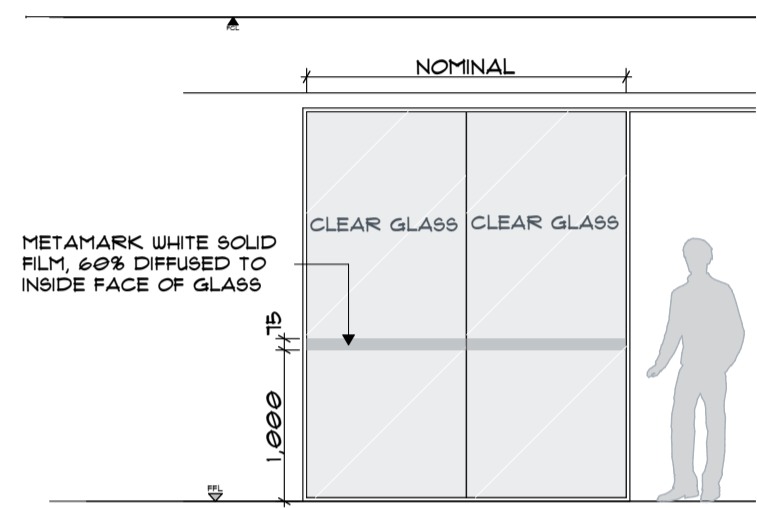
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**FINISHES NOTES**

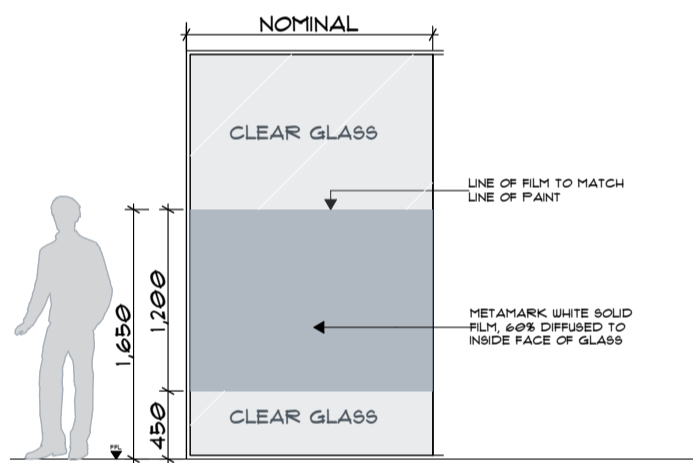
1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE FINISHES SCHEDULE.
2. UNLESS OTHERWISE NOTED BASE BUILDING WALLS, SILLS, COLUMNS AND DOORS ARE TO BE PAINTED.
3. FOR AREAS OF NEW WORKS OR MAKEGOOD, **PAINT P01 UNLESS OTHERWISE NOTED**, REFER TO FINISHES SCHEDULE FOR SPECIFICATIONS.
4. ALLOW TO PAINT ALL NEW DOORS. REFER TO FINISHES SCHEDULE FOR SPECIFICATION.
5. ALLOW FOR (1) COAT OF SEALER AND (2) COATS OF NOMINATED TOP COAT. PAINT TO WALLS AND DOORS AS NOMINATED. REFER TO FINISHES SCHEDULE FOR SPECIFICATION.
6. ALLOW TO PAINT SET ENDS PRIOR TO FIXING ALUMINUM SECTIONS.

**FINISHES PLAN LEGEND**

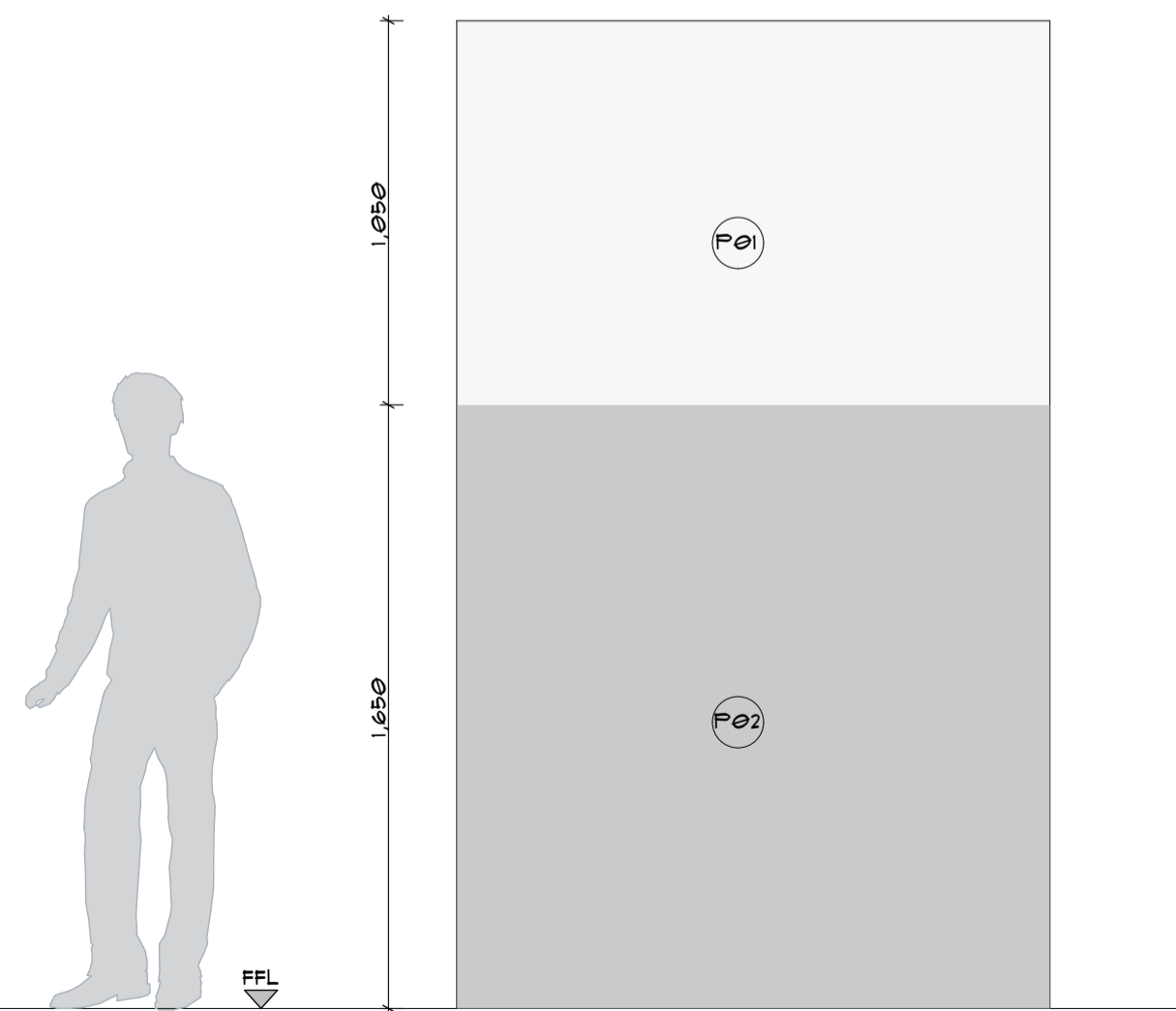
- WALL SURFACE FINISH
- DOOR SURFACE FINISH



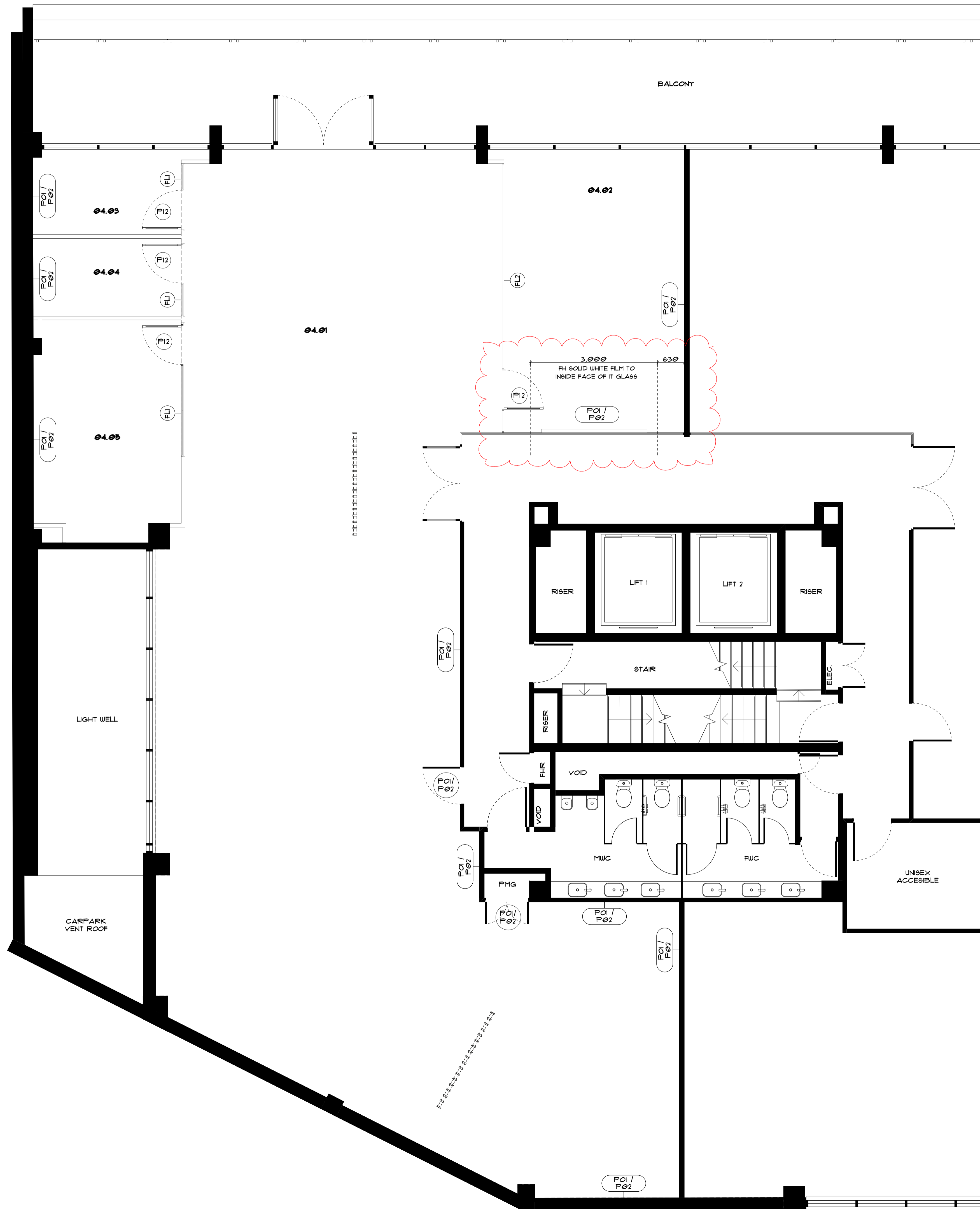
**FL1 FILM DETAIL**  
SCALE 1:50



**FL2 FILM DETAIL**  
SCALE 1:50



**TYP P01 / P02 ELEVATION**  
SCALE 1:20



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**For Construction**

**Finishes Plan**

Job Number: PH958 Building Level: L04

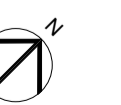
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Drawn: GG Checked: EF

**400**

Drawing Issue:






C

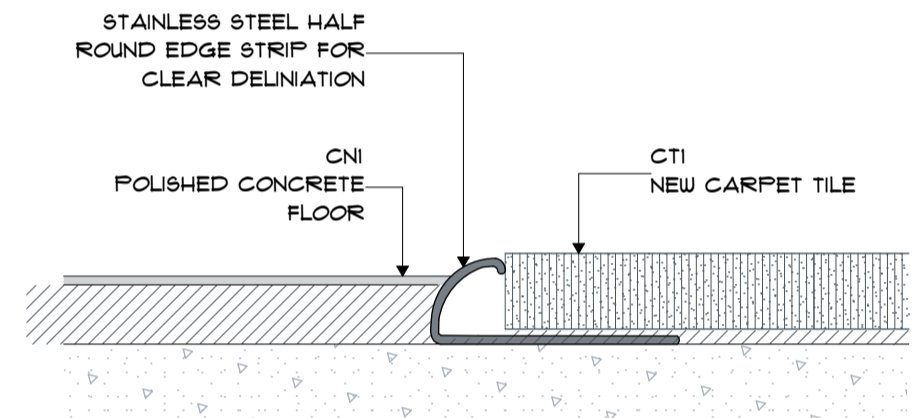


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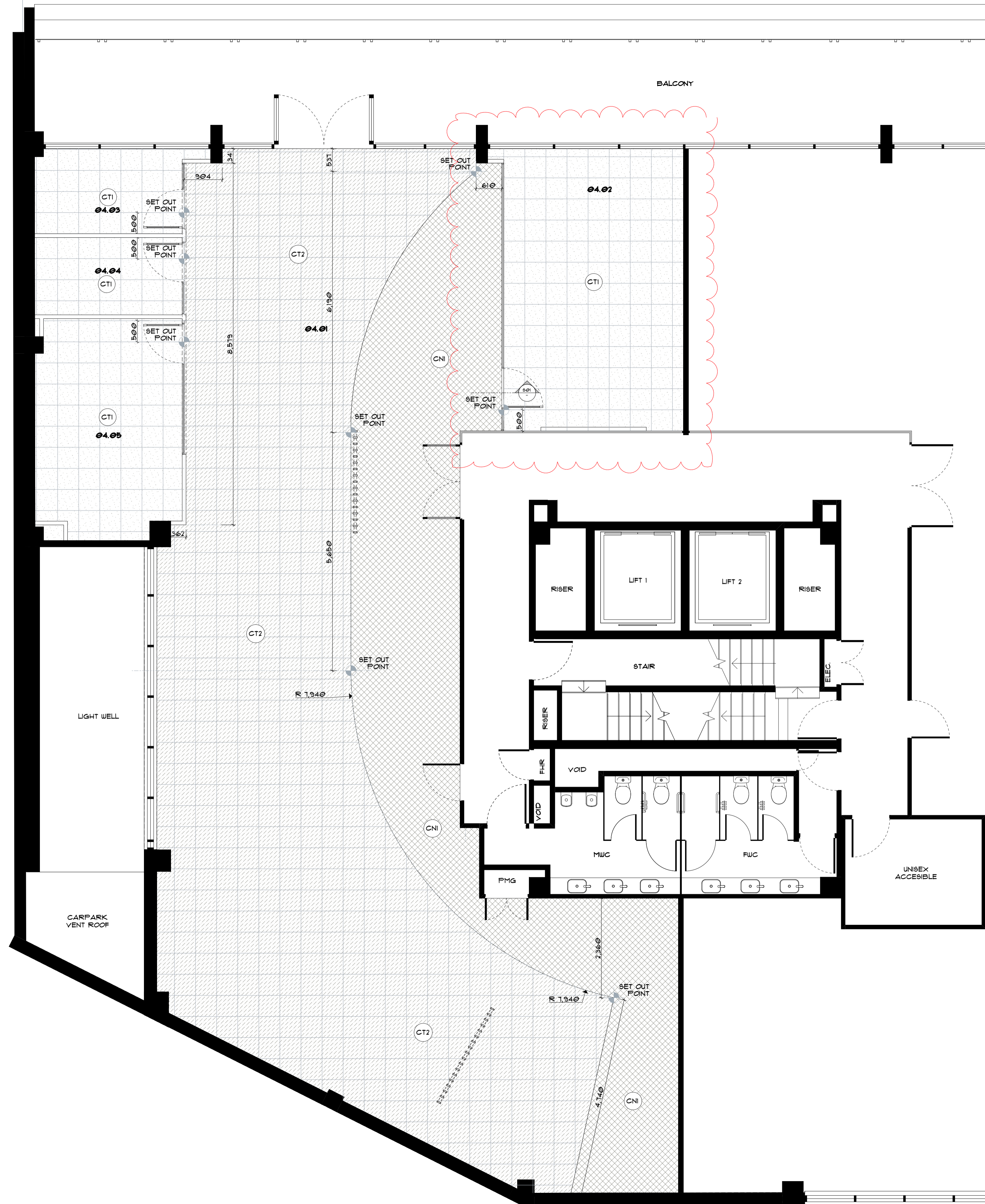
- FINISHES NOTES**
1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE FINISHES SCHEDULE
  2. MAKE GOOD AND LEVEL EXISTING FLOOR LEVELS WHERE NEEDED PRIOR TO ALL NEW FLOOR WORKS PROCEEDING
  3. REFER TO FLOOR JUNCTION DETAILS FOR NEW FLOORING
  4. SEE DETAIL DRAWINGS FOR PATTERNS AND GRAIN DIRECTIONS
  5. ENSURE SET OUT POINTS ARE ADHERED TO WHERE PROVIDED

**FLOOR FINISHES LEGEND**

-  FLOOR SURFACE FINISH
-  FLOOR SET OUT POINT
-  CNI
-  CT1
-  CT2



**501 FLOOR JUNCTION DETAIL**  
SCALE 1:1



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**For Construction**

**Floor Finishes Plan**

Job Number: PH958 Building Level: L04  
Date: 29/04/2020 Scale: 1:50, 1:1 @ A1  
Drawn: GG Checked: EF

**401**

Drawing Issue:

C



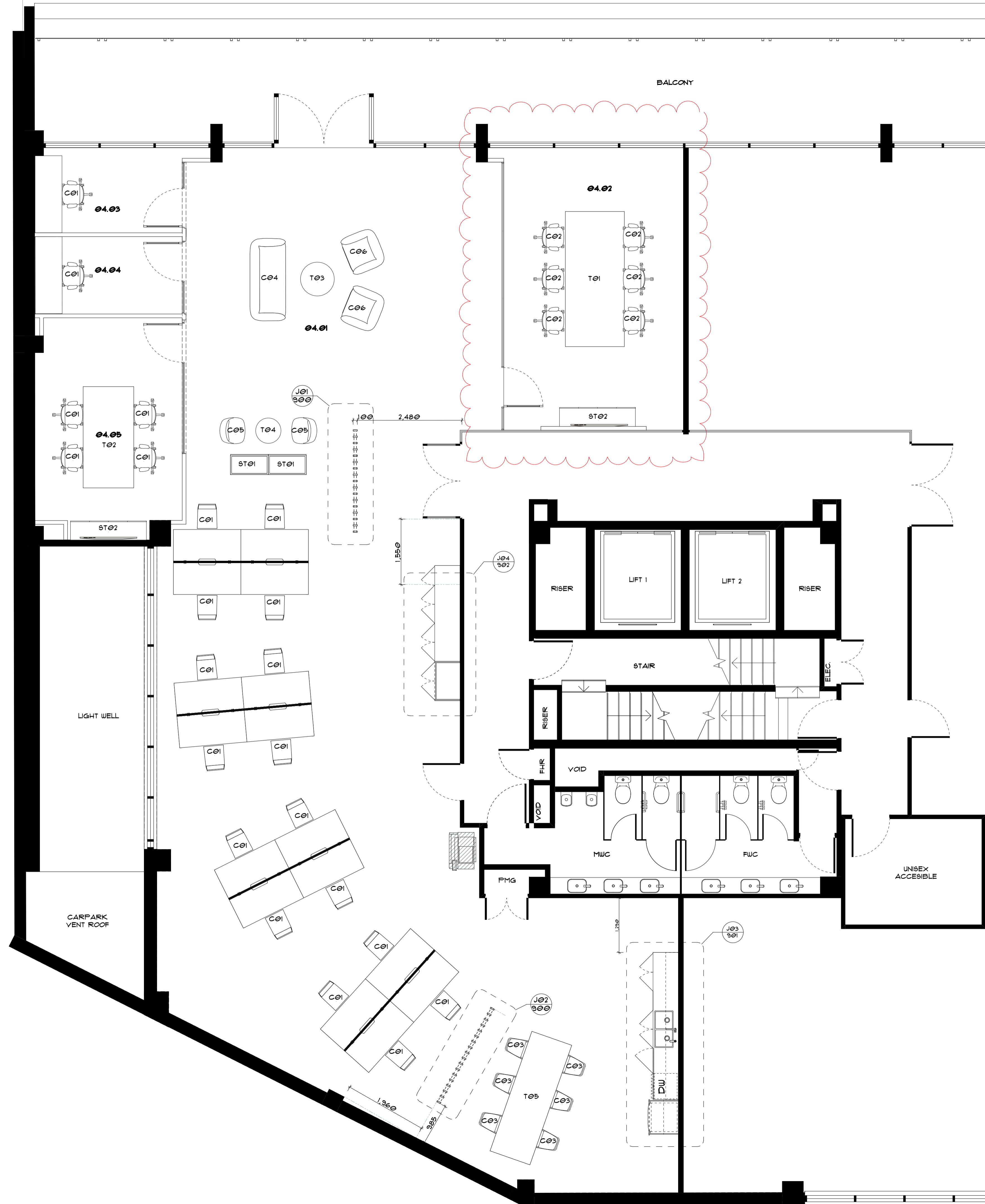
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**FURNITURE NOTES**

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE FURNITURE SCHEDULE.
2. FURNITURE SUPPLIERS ARE TO UNWRAP ALL FURNITURE AND REMOVE PACKAGING FROM SITE ON DELIVERY. ALLOW TO PLACE FURNITURE AND LEVEL TABLES.
3. WORKSTATION SUPPLIER TO LIAISE WITH ELECTRICIAN FOR LOCATION OF SERVICES FOR WORKSTATIONS.
4. FURNITURE AND WORKSTATION SUPPLIERS TO CHECK ALL CRITICAL MEASUREMENTS ON SITE PRIOR TO MANUFACTURE.

**FURNITURE PLAN LEGEND**

NEW ITEMS



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**Furniture Plan**

Job Number: PH958 Building Level: L04  
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Drawn: GG Checked: EF

**500**

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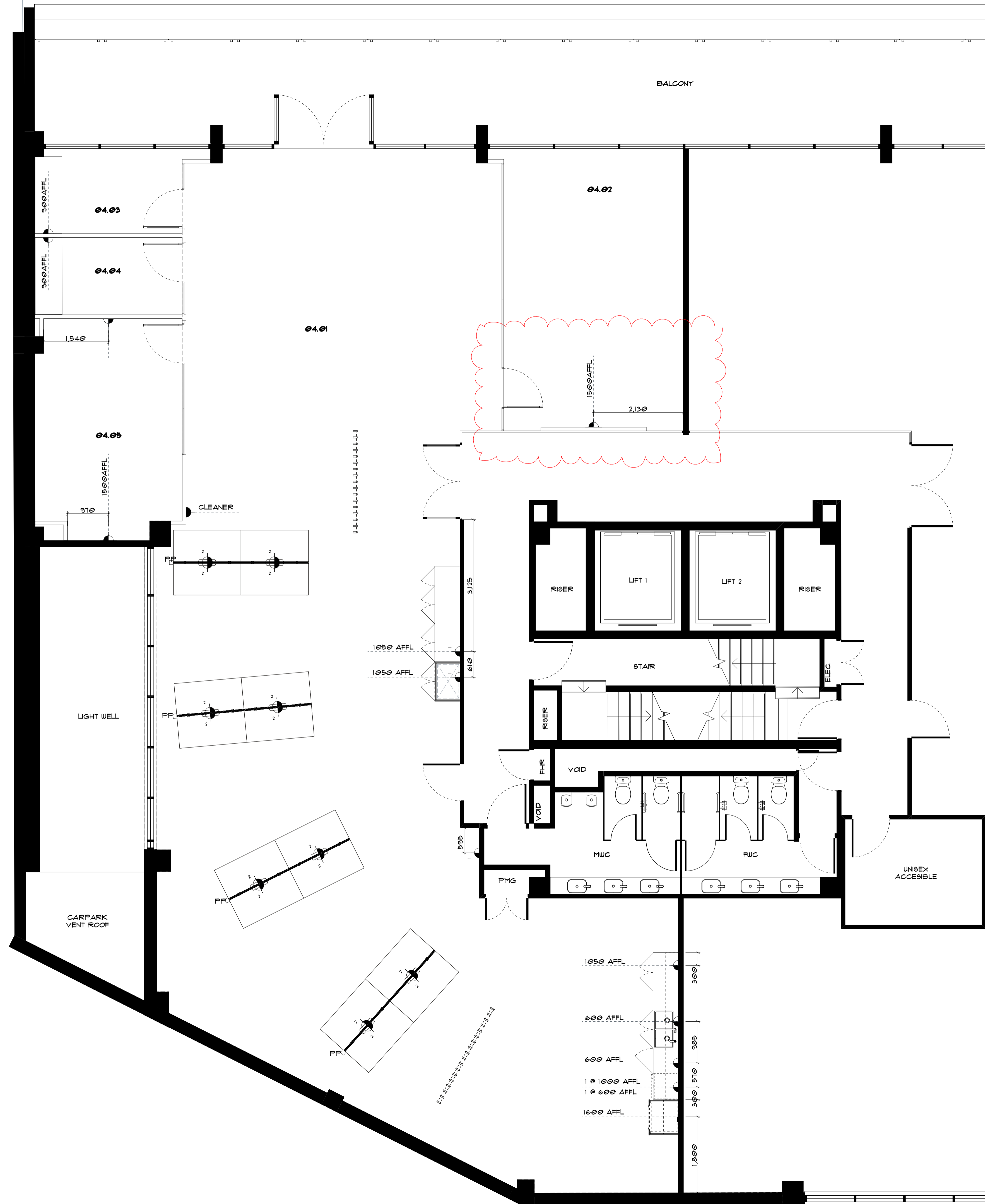
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**SERVICES NOTES**

1. THE SCOPE OF WORKS INCLUDES THE SUPPLY, INSTALLATION, TESTING AND COMMISSIONING OF ELECTRICAL AND DATA INSTALLATIONS.
2. THE SCOPE ALSO INCLUDES DEFECTS LIABILITY SERVICE OF MATERIALS, LABOR AND EQUIPMENT.
3. ALL INSTALLATION WORK TO BE ACCOMPANIED BY A 12 MONTH WARRANTY FROM THE DATE OF PRACTICAL COMPLETION.
4. ALL MATERIALS TO BE INSTALLED TO MANUFACTURERS INSTRUCTIONS.
5. PROVIDE AS BUILT DRAWINGS AND COPIES OF WRITTEN TEST RESULTS ON COMPLETION OF THE FIT OUT.
6. ELECTRICAL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
7. WALL MOUNTED SERVICES TO BE MOUNTED AT 250MM TO CENTER LINE OF FACE PLATE ABOVE FFL UNLESS OTHERWISE SPECIFIED.
8. JOINERY MOUNTED SERVICES TO BE MOUNTED AT HEIGHTS INDICATED ON DRAWINGS. ALL FACE PLATES TO BE WHITE UNLESS OTHERWISE NOTED.
9. ALL SWITCHES, SOCKETS, DATA/VOICE OUTLETS AND CIRCUIT BREAKERS TO BE LABELED INDICATING FUNCTION. WHITE/BLACK/WHITE LABELS GENERALLY AND WHITE/RED/WHITE FOR DEDICATED POWER.
10. ALL VOICE/DATA CABLES TO BE LABELED AT BOTH ENDS.

**SERVICES PLAN LEGEND**

- # DGFO - DOUBLE GENERAL PURPOSE OUTLET.  
# INDICATES QTY OF OUTLETS REQUIRED.
- # RJ45 OUTLET, DATA OR PHONE # INDICATES THE NUMBER OF DATA POINTS REQUIRED.
- PP POWER POLE



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**Services Plan**

Job Number: PH958 Building Level: L04  
Date: 29/04/2020 Scale: 1:50 @ A1  
Drawn: GG Checked: EF

**600**

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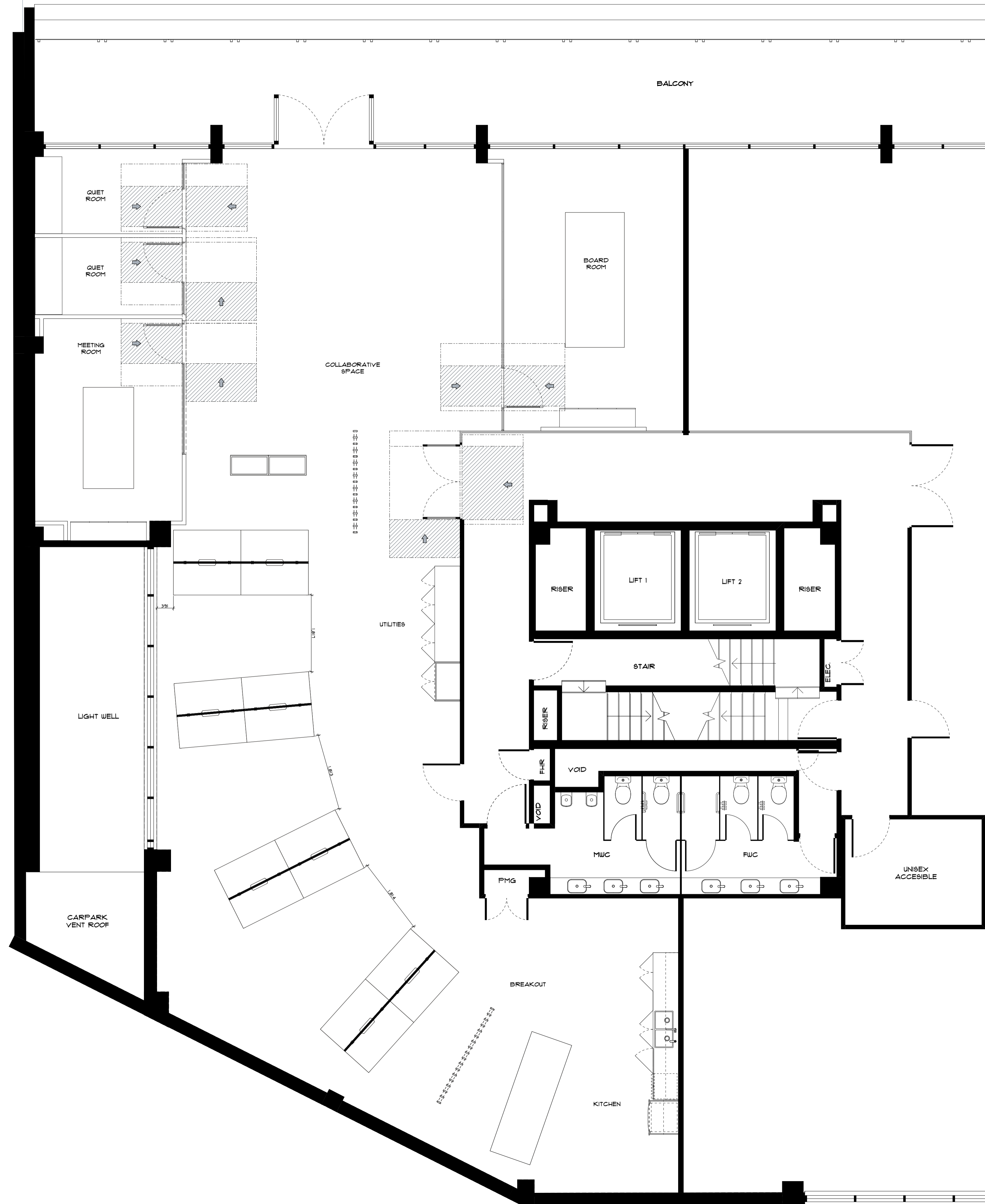


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# TENANCY ANALYSIS

BOARD ROOM	01
QUIET ROOMS	02
MEETING ROOM	01
BREAKOUT / KITCHEN	01
WORKSTATIONS	16
<hr/>	
TOTAL PERSONNEL	16
TENANCY AREA M2	251.89
TENANCY DENSITY	1:16



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## Property Bank Australia

Level 4, 51 Berry Street  
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## For Construction

### Compliance Plan

Job Number: PH958 Building Level: L04  
 Date: 29/04/2020 Scale: 1:50 @ A1  
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## 700

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