



Technical Set for

SCS Randwick - OLSH

193 Avoca Street
Randwick NSW 2031

For Construction

Job Number: PH947

Drawn By: Jayson Reed, Architect

Checked: Elise Fotiadis, Interior Designer

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7 Lloyds Avenue, Carlingford NSW 2118 Australia




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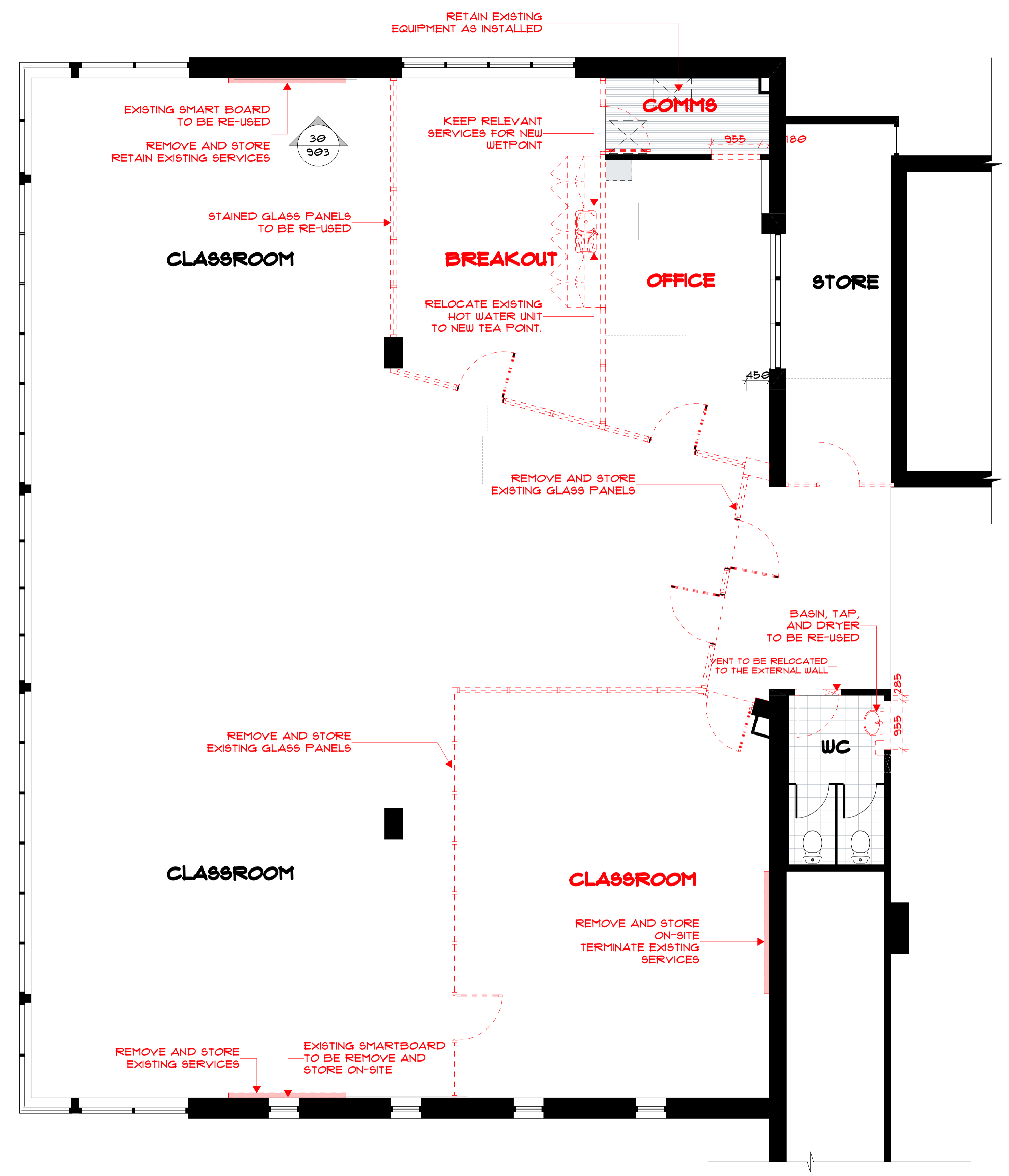
Rev	Issue Date	By	Description
A	20.01.2020	JR	For Tender
B	10.02.2020	JR	For Tender
C	24.08.2020	GG	For Construction

DEMOLITION NOTES

- DEMOLISH EXISTING NOMINATED WALLS TO ALLOW FOR NEW LAYOUT.
- MAKE GOOD ANY RETAINED PARTITIONS, PERIMETER WALLS, SILLS AND MULLIONS IMPACTED BY DEMOLITION.
- TERMINATE AND REMOVE REDUNDANT ELECTRICAL AND DATA SERVICES.
- MAKE GOOD/ REPLACE ANY IMPACTED CEILING TILES AND/OR GRID.
- REPLACE ALL DAMAGED DUCTED AND / OR FLAT SKIRTING TO PARTITIONS AND BASE BUILDING WALLS. ANY NEW SKIRTING TO MATCH EXISTING.
- REMOVE ALL FINISHES AS NOTED AND MAKE GOOD REMAINING SUBSTRATE.
- REMOVE ALL RUBBISH FROM SITE.

DEMOLITION PLAN LEGEND:

-  EXISTING PARTITIONS TO REMAIN
-  EXISTING ITEMS TO BE DEMOLISHED
-  EXISTING DOOR TO BE RELOCATED OR DEMOLISHED



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SCS Randwick - OLSH

193 Avoca Street
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For Construction

Demolition Plan

Job Number: PH947 Building Level: L0
 Date: 10/12/2020 Scale: 1:50 @ A1
 Drawn: JR Checked: EF

100

Drawing Issue:
C



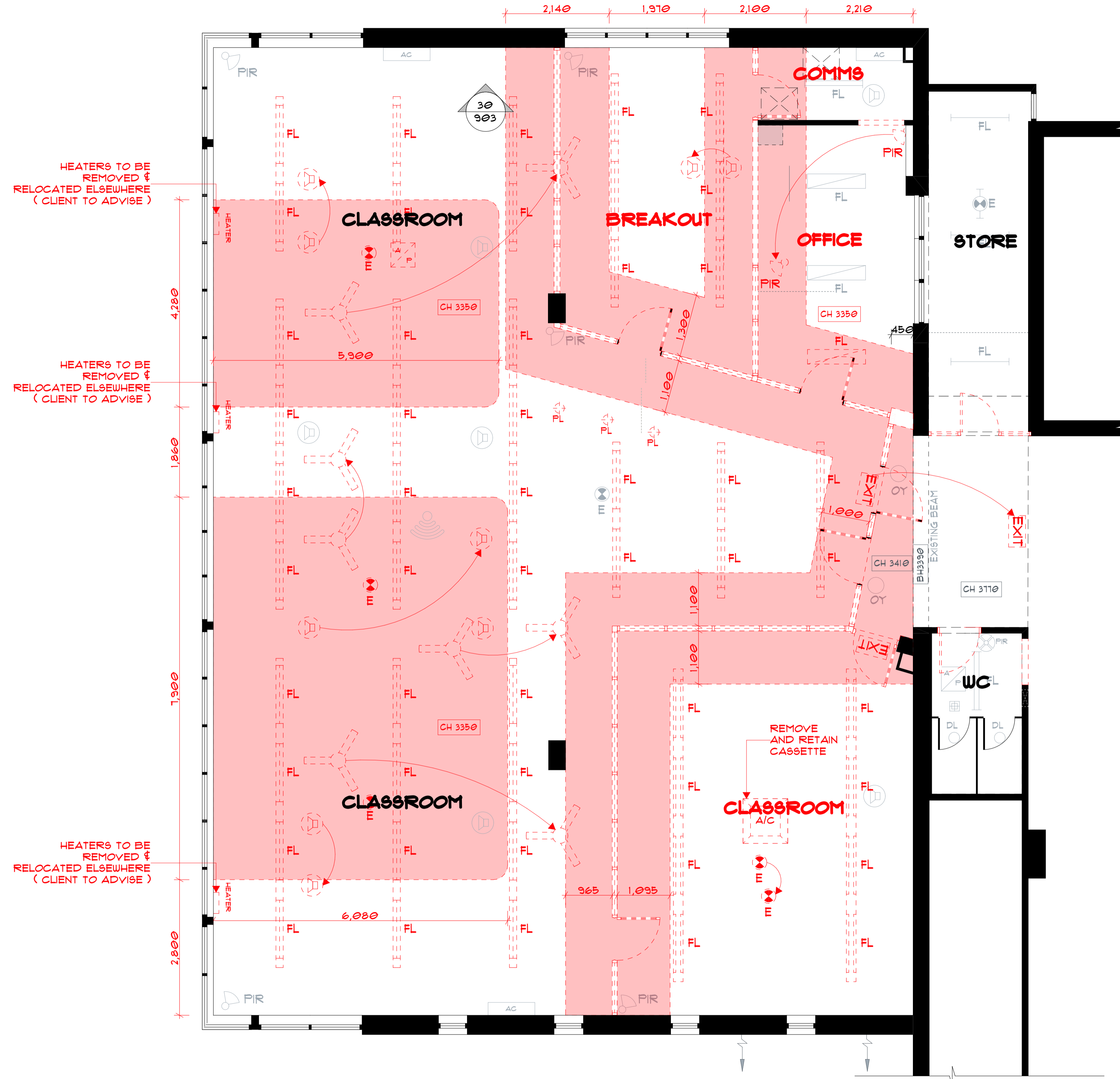
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DEMOLITION NOTES

1. TERMINATE AND REMOVE REDUNDANT ELECTRICAL AND DATA SERVICES.
2. MAKE GOOD/ REPLACE ANY IMPACTED CEILING TILES AND/OR GRID.
3. REMOVE ALL RUBBISH FROM SITE.

DEMOLITION CEILING LEGEND:

- EXISTING PARTITIONS TO REMAIN
- EXISTING ITEMS TO BE DEMOLISHED
- EXISTING DOOR TO BE RELOCATED OR DEMOLISHED
- EXISTING CEILING TO BE DEMOLISHED



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Demolition Ceiling

Job Number: PH947 Building Level: L0
 Date: 10/12/2020 Scale: 1:50 @ A1
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101

Drawing Issue:

D



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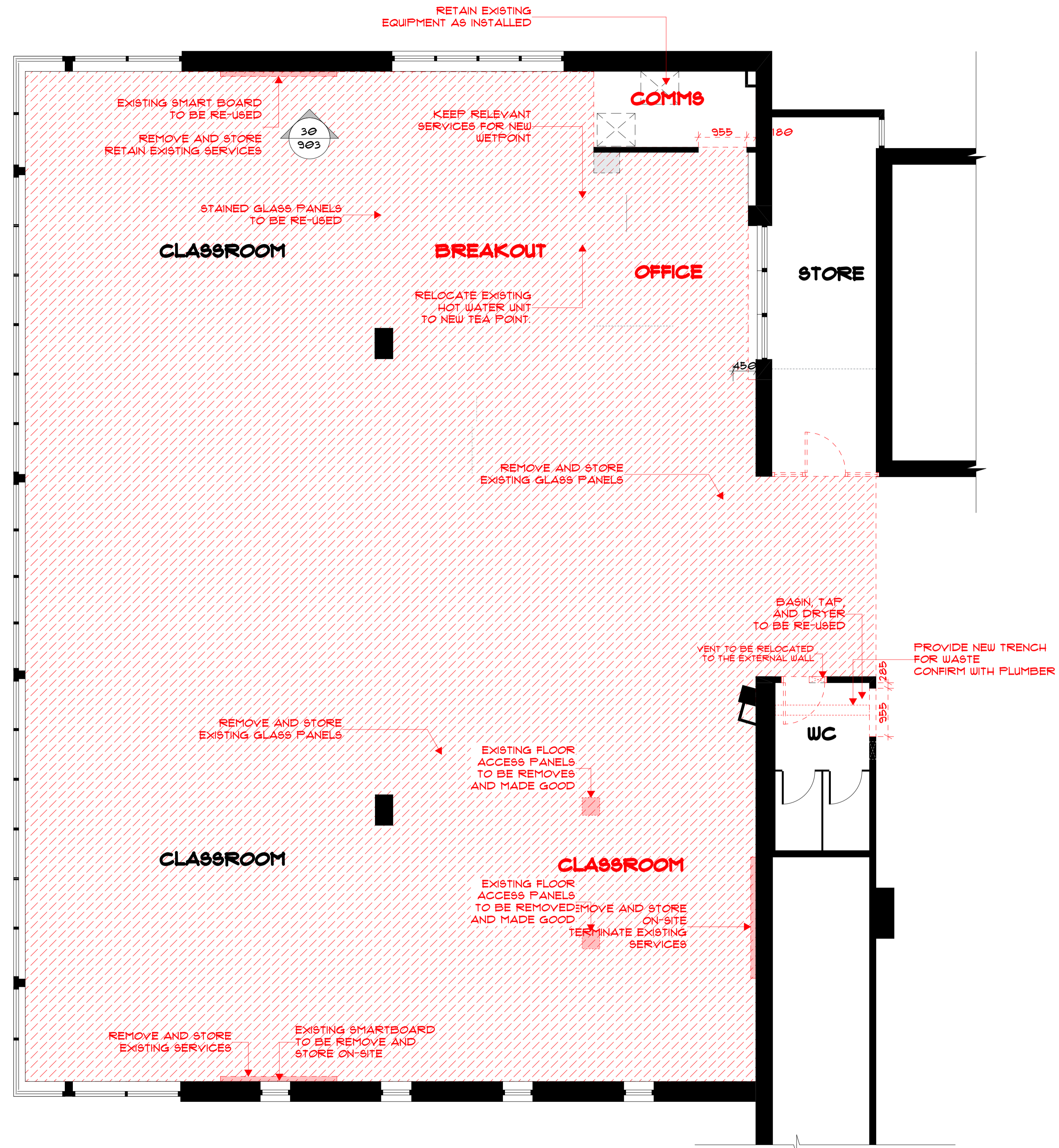
DEMOLITION NOTES

1. REPLACE ALL DAMAGED DUCTED AND / OR FLAT SKIRTING TO PARTITIONS AND BASE BUILDING WALLS. ANY NEW SKIRTING TO MATCH EXISTING.
2. REMOVE ALL FINISHES AS NOTED AND MAKE GOOD REMAINING SUBSTRATE
3. REMOVE ALL RUBBISH FROM SITE

DEMOLITION FLOOR LEGEND:

- EXISTING PARTITIONS TO REMAIN
- EXISTING ITEMS TO BE DEMOLISHED
- EXISTING DOOR TO BE RELOCATED OR DEMOLISHED
- EXISTING FLOORING TO BE DEMOLISHED

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Demolition Floor

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102

Drawing Issue:

C



PARTITION NOTES

1. THE PARTITION PLAN IS TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS, ENGINEERS DRAWINGS AND SCHEDULES.
2. BASE BUILDING WORK REQUIREMENTS MUST BE COMPLIED WITH AT ALL TIMES. CONTRACTORS SHALL PROTECT ALL EXISTING BASE BUILDING FINISHES, STRUCTURE AND SYSTEMS DURING CONSTRUCTION.
3. PROVIDE TIMBER STUD REINFORCEMENT TO STEEL WALL FRAME WHERE WALLS ARE SHOWN WITH A HATCHED SURFACE. SURFACE INDICATES WALL HUNG ITEMS SUCH AS OVERHEAD CUPBOARDS, WALL MOUNTED SCREENS OR FULL HEIGHT JOINERY.
4. REFER TO THE DOOR SCHEDULE FOR ALL DOOR TYPE AND HARDWARE SPECIFICATIONS.

PARTITION PLAN LEGEND

- 01 DOOR NUMBER
- /// FULL HEIGHT OR WALL HUNG JOINERY OR ITEM ALLOW FOR ADEQUATE SUPPORT IN WALL
- █ EXISTING WALLS
- ▭ NEW WALLS

WALL TYPE DESCRIPTIONS

FP - FULL HEIGHT PLASTERBOARD PARTITION FROM FFL TO UNDERSIDE OF CEILING
 90MM THICK STANDARD PLASTERBOARD PARTITION CONSTRUCTED FROM 64MM METAL STUD WORK CLAD WITH 1 X 13MM PLASTERBOARD SHEET TO BOTH SIDES.
 PROVIDE 15MM THICK DACRON SOUND ABSORBING INSULATION WITHIN THE PARTITION CAVITY.
 TAPE SET AND SAND ALL JOINTS READY TO TAKE SPECIFIED PAINT FINISH.
 PROVIDE 100MM HIGH BLACK SKIRTING WITH CONCEALED FIXING.
 PROVIDE 25MM BLACK FLATBAR TO WALL / CEILING JUNCTION WHERE DENOTED WITH "U" USE AQUACHECK BOARD FOR WET AREA IN LIEU OF STANDARD 13MM PLASTERBOARD.

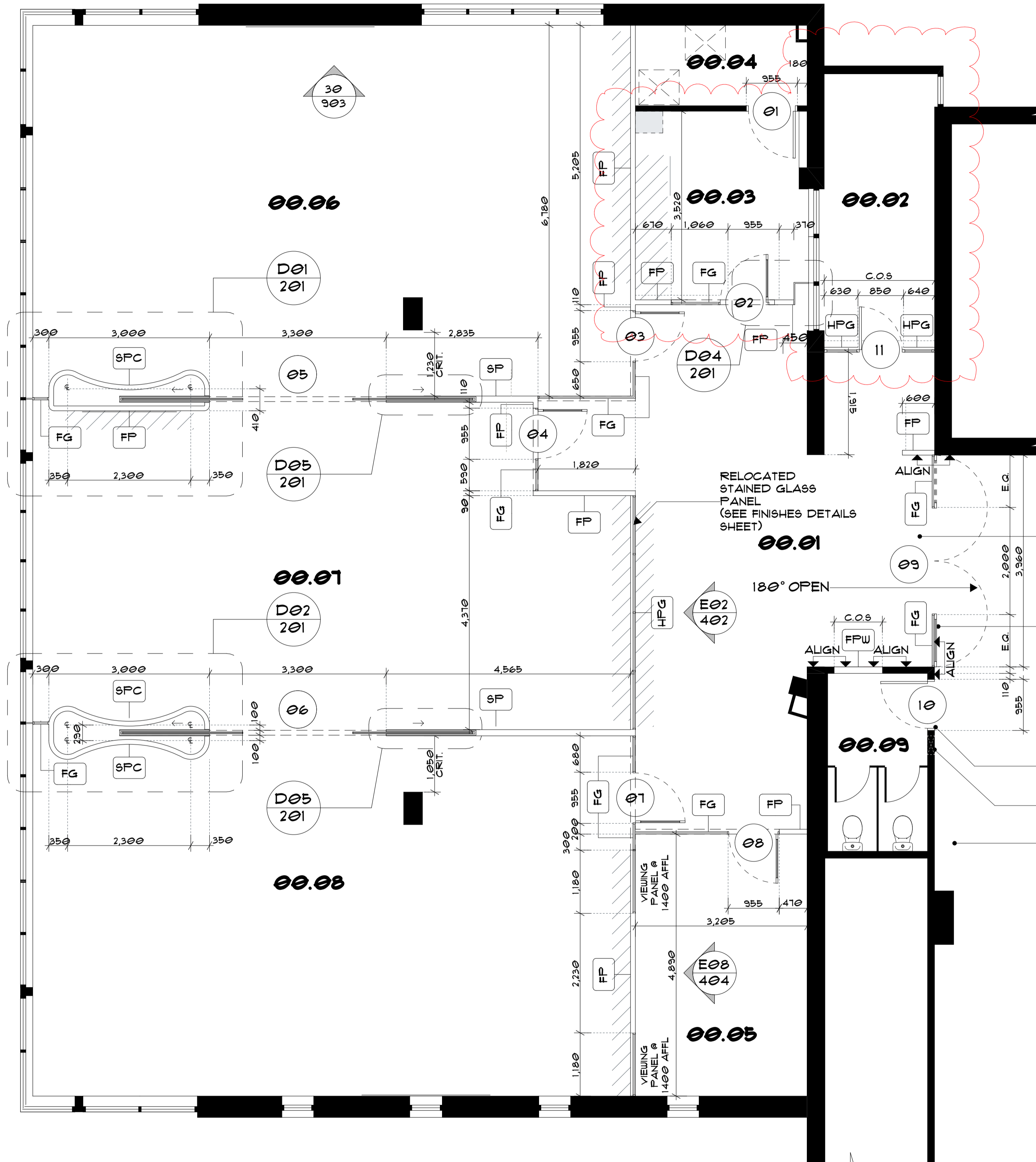
FG - FULL HEIGHT GLASS PARTITION FROM FFL TO UNDERSIDE OF CEILING, BLACK ANODISED FINISH
 STANDARD GLASS PARTITION CONSTRUCTED USING 100 X 40 WIDELINE BLACK ALUMINIUM SNAP-IN GLAZING SECTIONS.
 PROVIDE SINGLE OR EQUALLY SPACED PANES OF GLASS BETWEEN MULLIONS.
 ALL GLAZED EXTERNAL CORNERS ARE TO BE MULLION FREE AND HAVE BUTT JOINT GLASS DETAIL.
 PROVIDE CLEAR GLASS TO PARTITION (TO MEET AUSTRALIAN STANDARDS) WITHIN THE GLAZING SYSTEM WITH SILICONE BUTT JOINTS WHERE REQUIRED.

SPC - CURVED FULL HEIGHT GLASS PARTITION FROM FFL TO UNDERSIDE OF CEILING
 90MM THICK PLASTERBOARD SHEET PARTITION CONSTRUCTED FROM 64MM METAL STUD WORK CLAD WITH 2 X 6.5MM GYROCK SHEET TO ONE SIDE OF OVERLAPPING AND STAGGERED JOINTS.
 PROVIDE 15MM THICK DACRON SOUND ABSORBING INSULATION WITHIN THE PARTITION CAVITY.
 TAPE SET AND SAND ALL JOINTS READY TO TAKE SPECIFIED PAINT FINISH.
 PROVIDE 100MM HIGH BLACK SKIRTING WITH CONCEALED FIXING. SQUARE SET JUNCTION WHERE WALL MEETS CEILING.

SP - NEW FULL HEIGHT, 116MM THICK PLASTERBOARD PARTITION
 CONSTRUCTED FROM 90MM METAL STUDWORK, CLAD WITH 1 X 13MM PLASTERBOARD SHEET TO BOTH SIDES OF THE WALL. PROVIDE 50MM THICK, 60KG/M³ ECHOSOFT 60/50' SOUND ABSORBING INSULATION WITHIN THE PARTITION CAVITY. TAPESET AND SAND ALL JOINTS READY TO ACCEPT SPECIFIED PAINT FINISH. PROVIDE 100MM HIGH ALUMINIUM SKIRTING WITH CONCEALED FIXING.
 PROVIDE ACOUSTIC SEAL TO WALL / CEILING JUNCTIONS WITH CAULKING MATERIAL. SQUARE SET JUNCTION WHERE WALL MEETS CEILING.

HPG - HALF HEIGHT PLASTERBOARD PARTITION FROM FFL TO 2100MM AFFL, GLASS ABOVE, BLACK ANODISED FINISH
 90MM THICK STANDARD PLASTERBOARD PARTITION CONSTRUCTED FROM 64MM METAL STUD WORK CLAD WITH 1 X 13MM PLASTERBOARD SHEET TO BOTH SIDES.
 PROVIDE 15MM THICK DACRON SOUND ABSORBING INSULATION WITHIN THE PARTITION CAVITY.
 TAPE SET AND SAND ALL JOINTS READY TO TAKE SPECIFIED PAINT FINISH.
 PROVIDE 100MM HIGH BLACK SKIRTING WITH CONCEALED FIXING.
 STANDARD GLASS PARTITION CONSTRUCTED USING 100 X 40 WIDELINE BLACK ALUMINIUM SNAP-IN GLAZING SECTIONS.
 PROVIDE SINGLE OR EQUALLY SPACED PANES OF GLASS BETWEEN MULLIONS.
 ALL GLAZED EXTERNAL CORNERS ARE TO BE MULLION FREE AND HAVE BUTT JOINT GLASS DETAIL.
 PROVIDE CLEAR GLASS TO PARTITION (TO MEET AUSTRALIAN STANDARDS) WITHIN THE GLAZING SYSTEM WITH SILICONE BUTT JOINTS WHERE REQUIRED.

PLEASE ADVISE BUILDER/ JOINER THAT PARTITION NEEDS TO SUPPORT THE WEIGHT OF A 60KG DISPLAY + 10KG WEIGHT FOR BRACKET AND ACCESSORIES.



- NOTE:**
- 1) ALL NEW FULL HEIGHT GLAZED WALLS, DOORS, AND SIDELIGHTS SHALL BE MARKED AS PER CL. 6.6 OF AS 1428.1-2009.
 - ENSURE NEW DOUBLE LEAF DOORS ARE INSTALLED WITH PARLIAMENT HINGES AND CAN BE SECURED FLUSH WITH THE ADJACENT GLASS SIDELIGHTS.
 - NEW MDF DOOR WITH WEATHERPROOF SEALS
 - NEW VENT LOCATION
 - NO AV SYSTEMS PROPOSED

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Partition Plan

Job Number: PH947 Building Level: L0

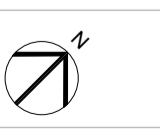
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Drawn: JR Checked: EF

200

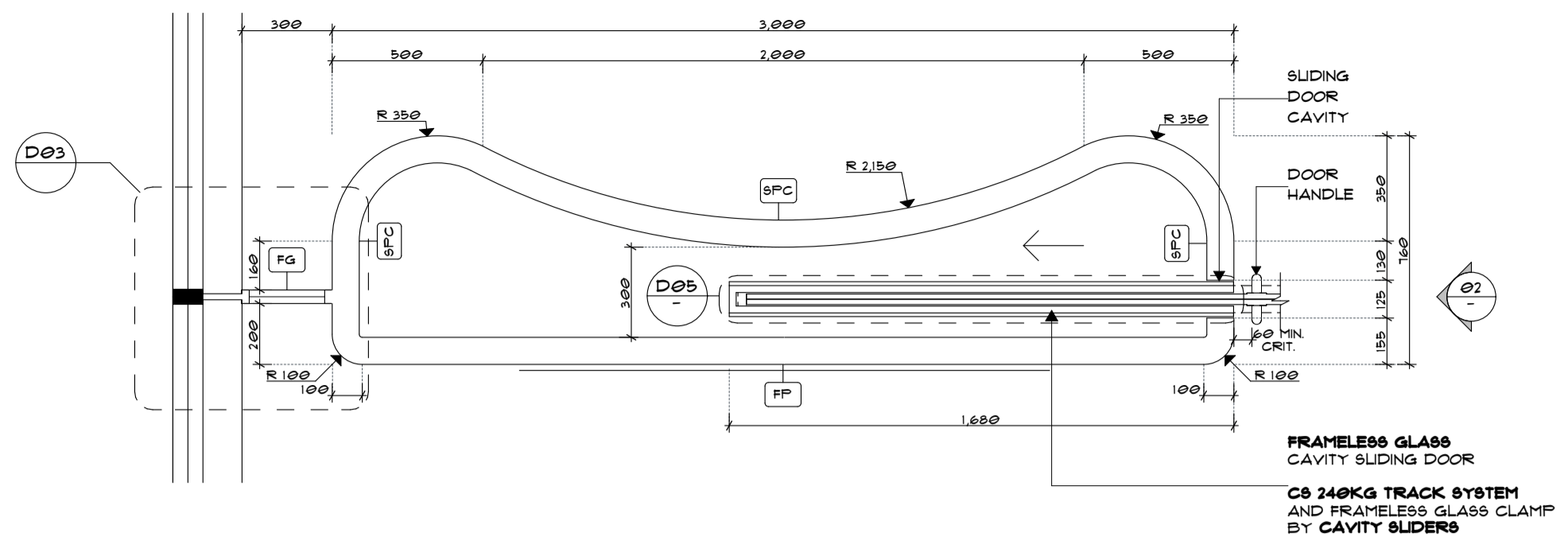
Drawing Issue:

E

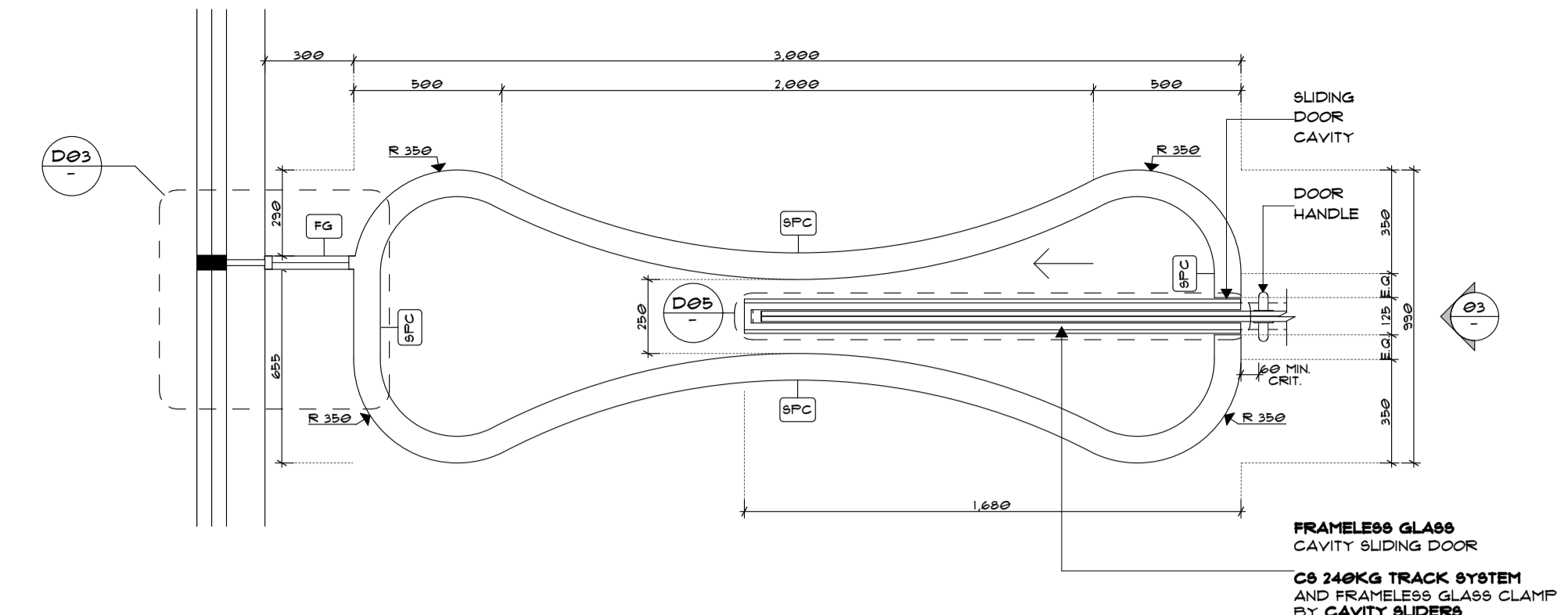


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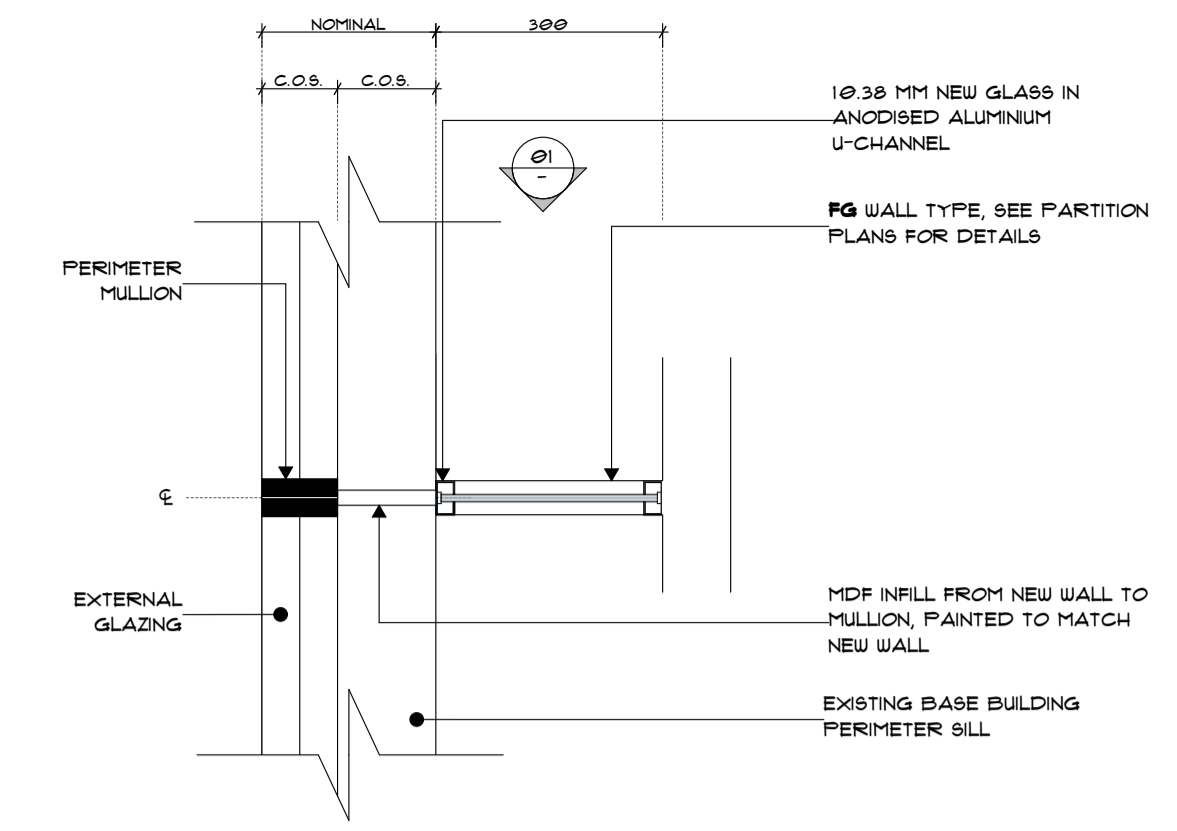
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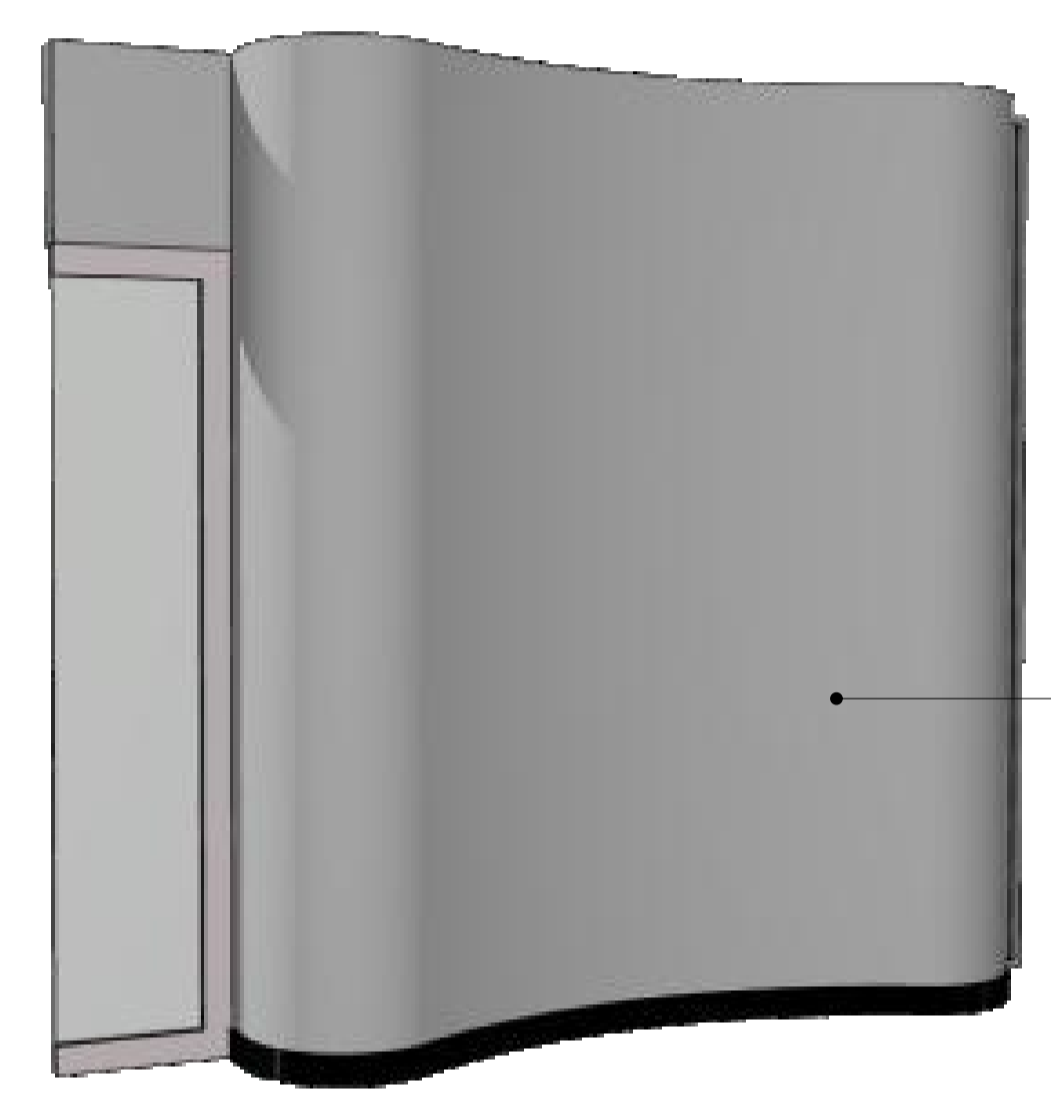
D01 PARTITION DETAIL
SCALE 1:20



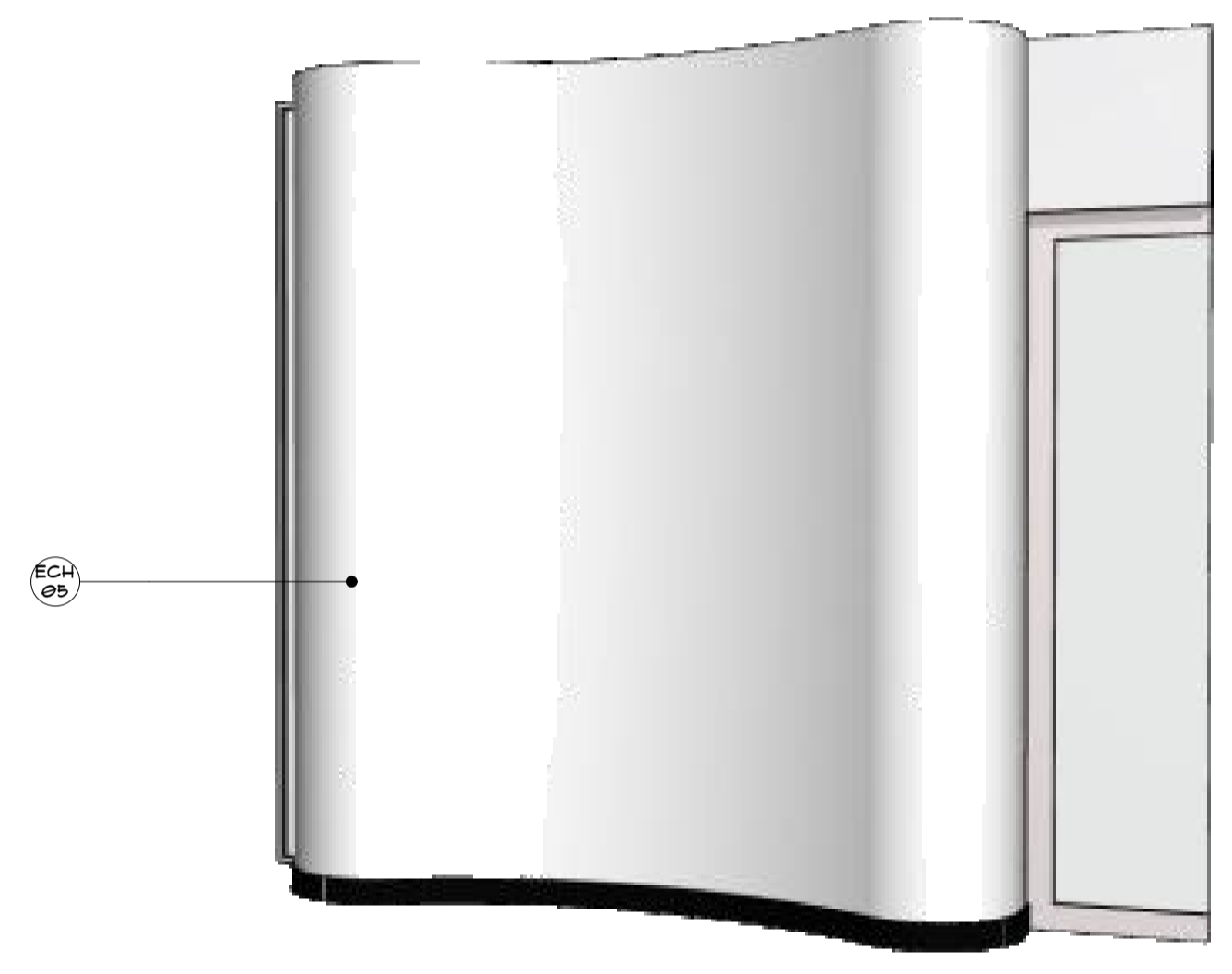
D02 PARTITION DETAIL
SCALE 1:20



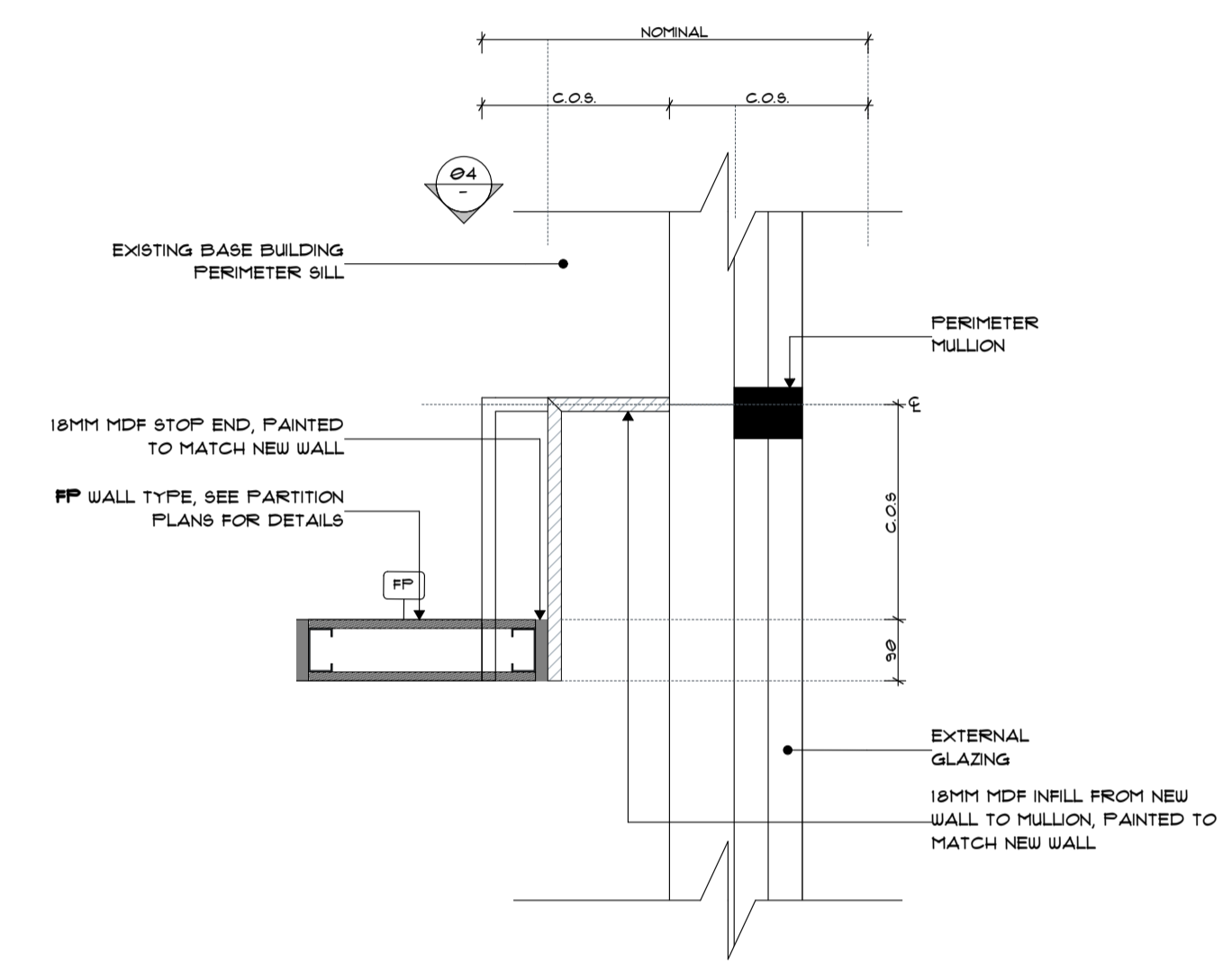
D03 PARTITION DETAIL
SCALE 1:10



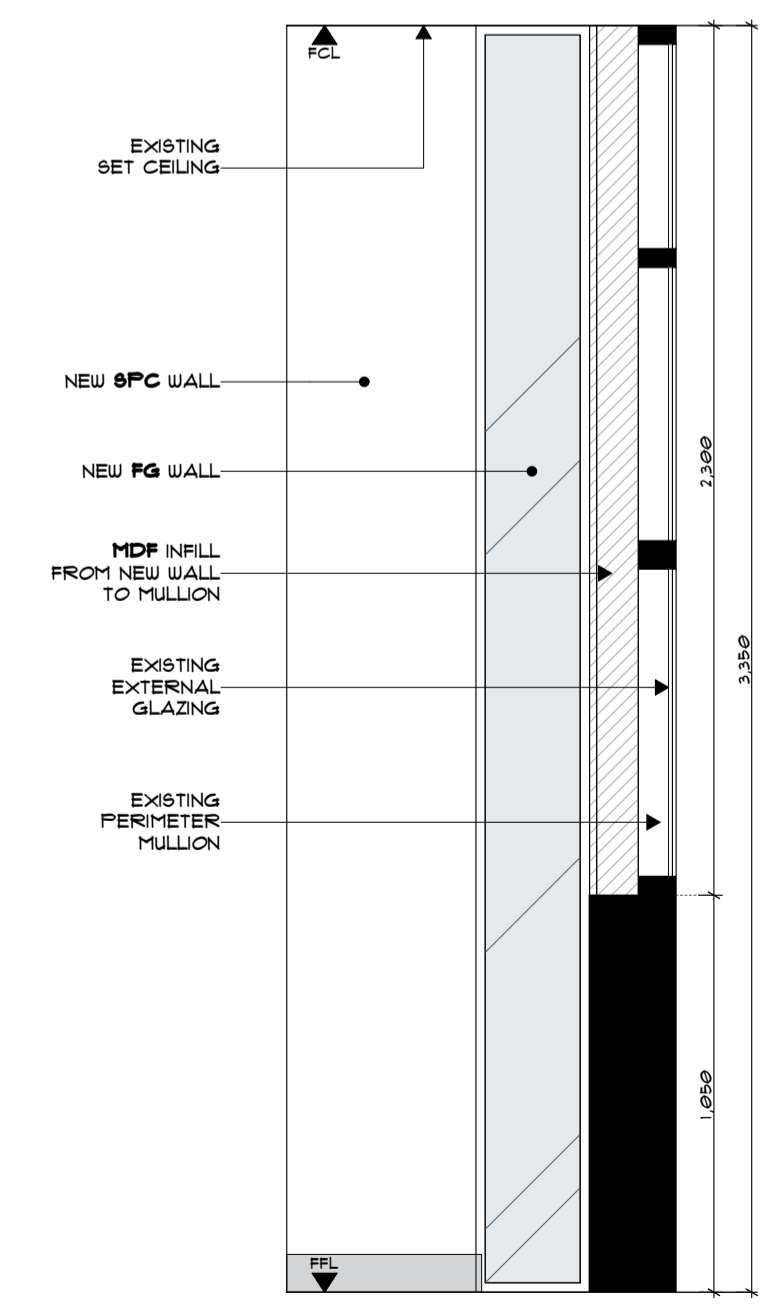
D01 PARTITION PERSPECTIVE
SCALE NT5



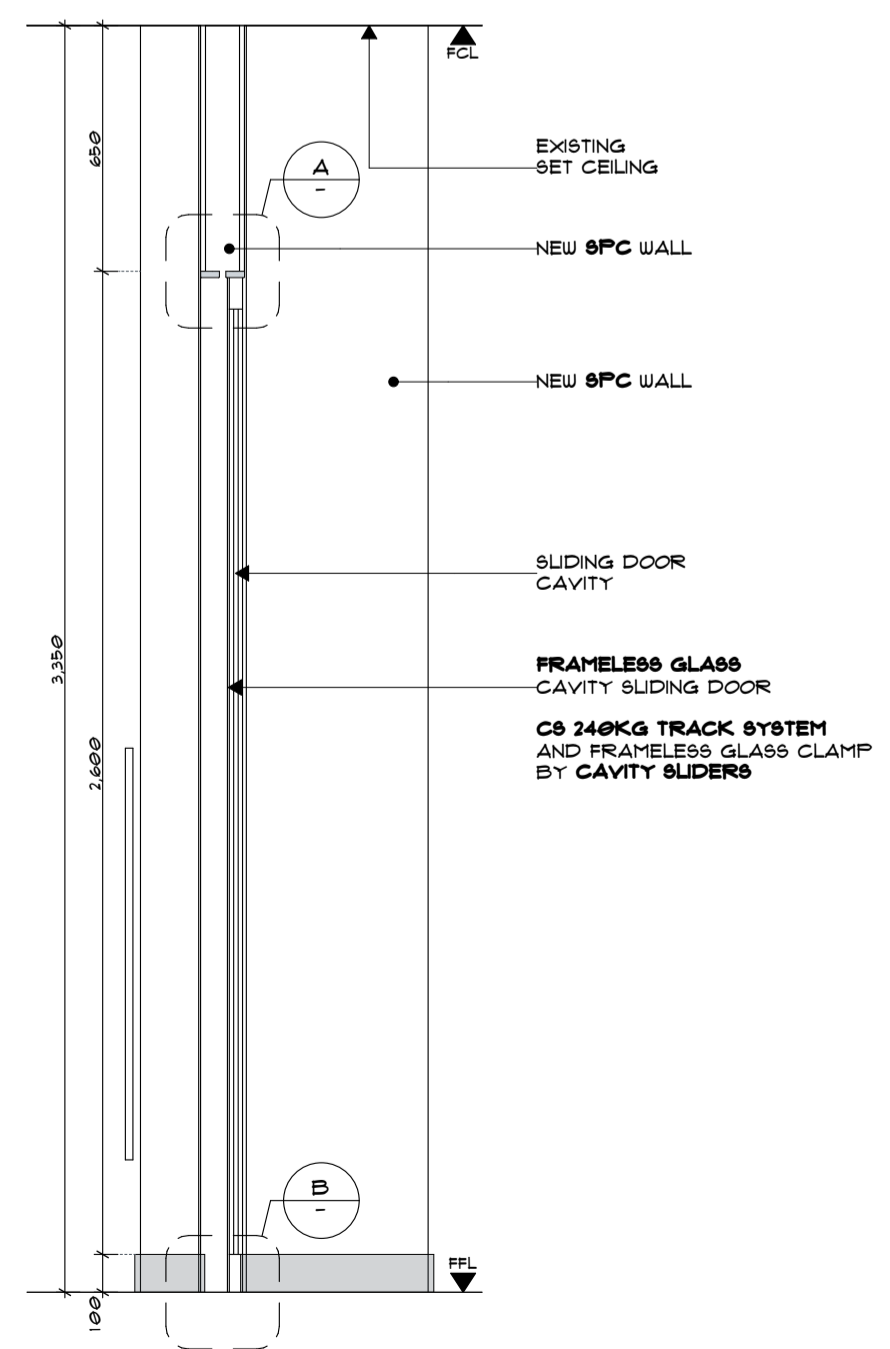
D02 PARTITION PERSPECTIVE
SCALE NT5



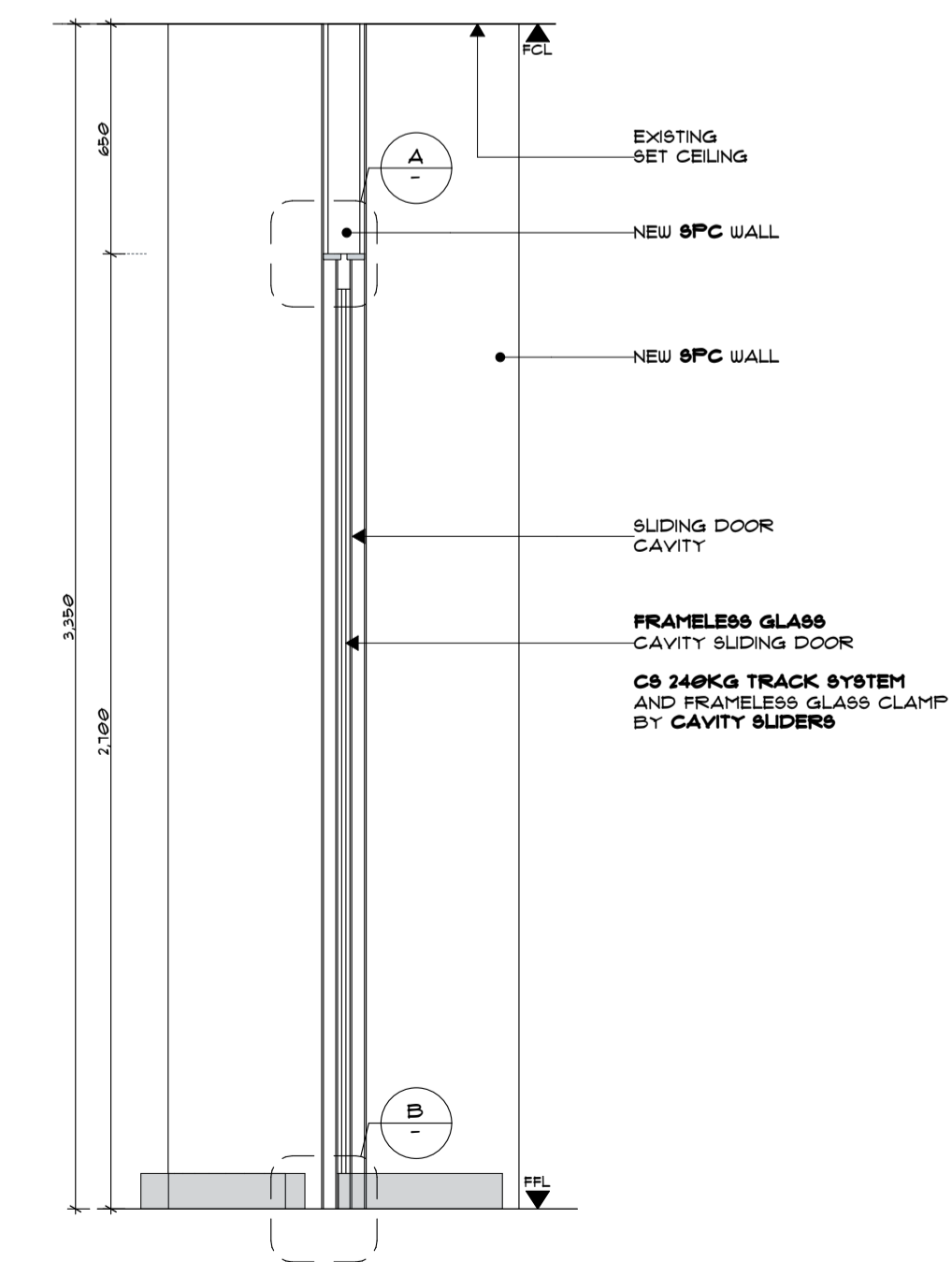
D04 PARTITION DETAIL
SCALE 1:10



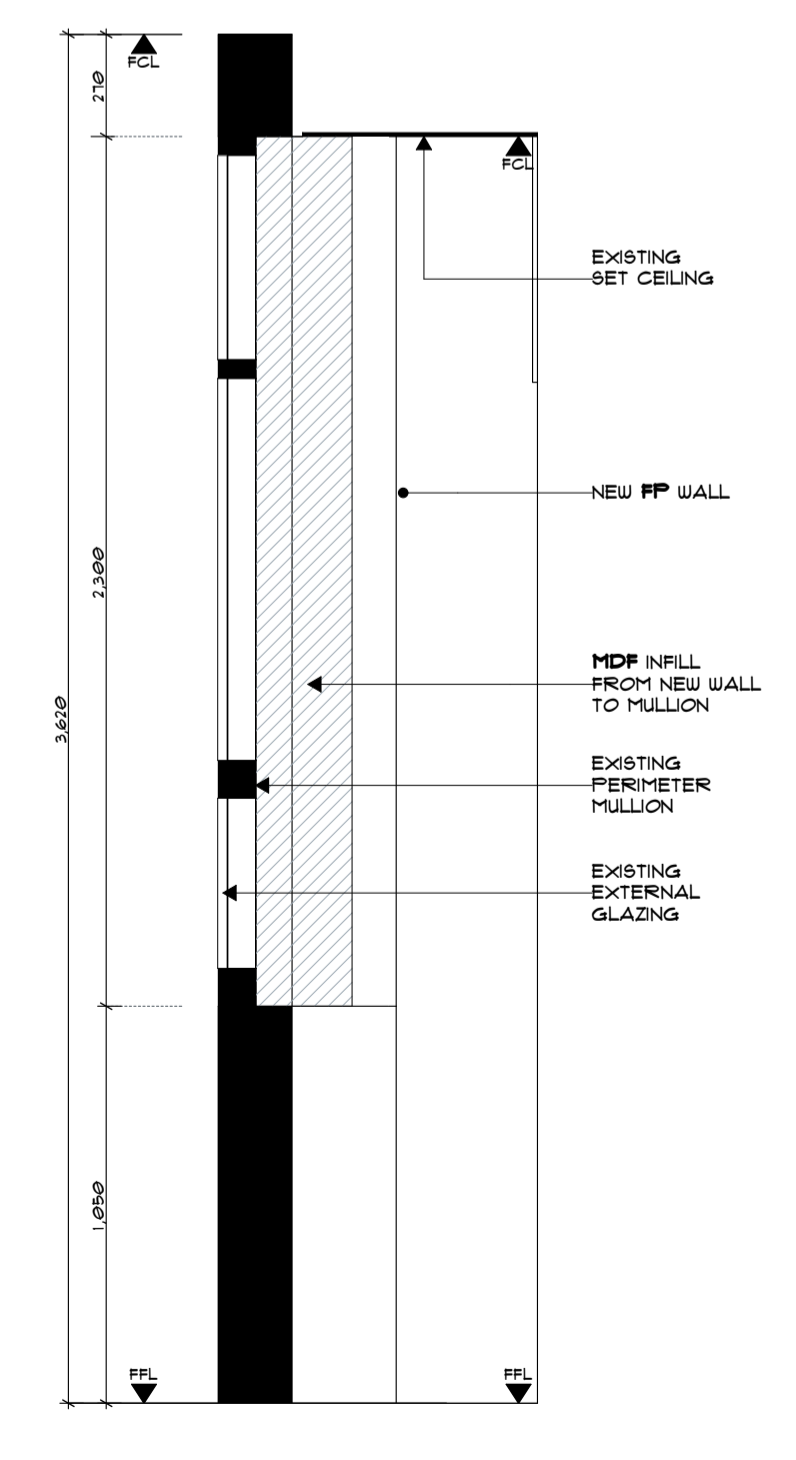
01 PARTITION ELEVATION
SCALE 1:20



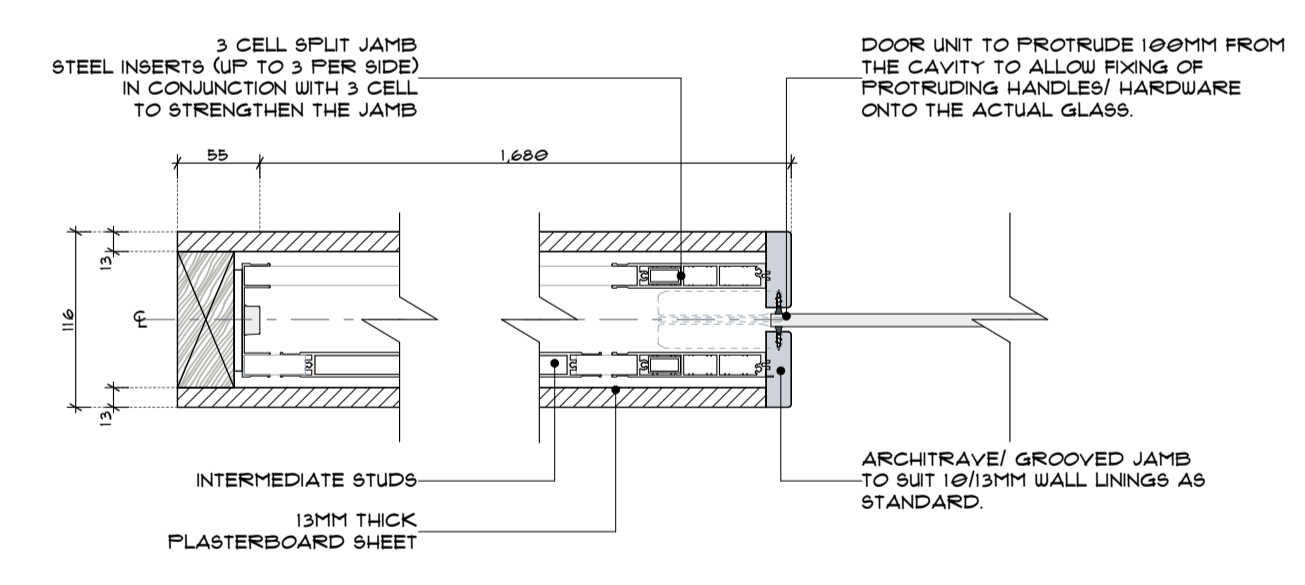
02 PARTITION ELEVATION
SCALE 1:20



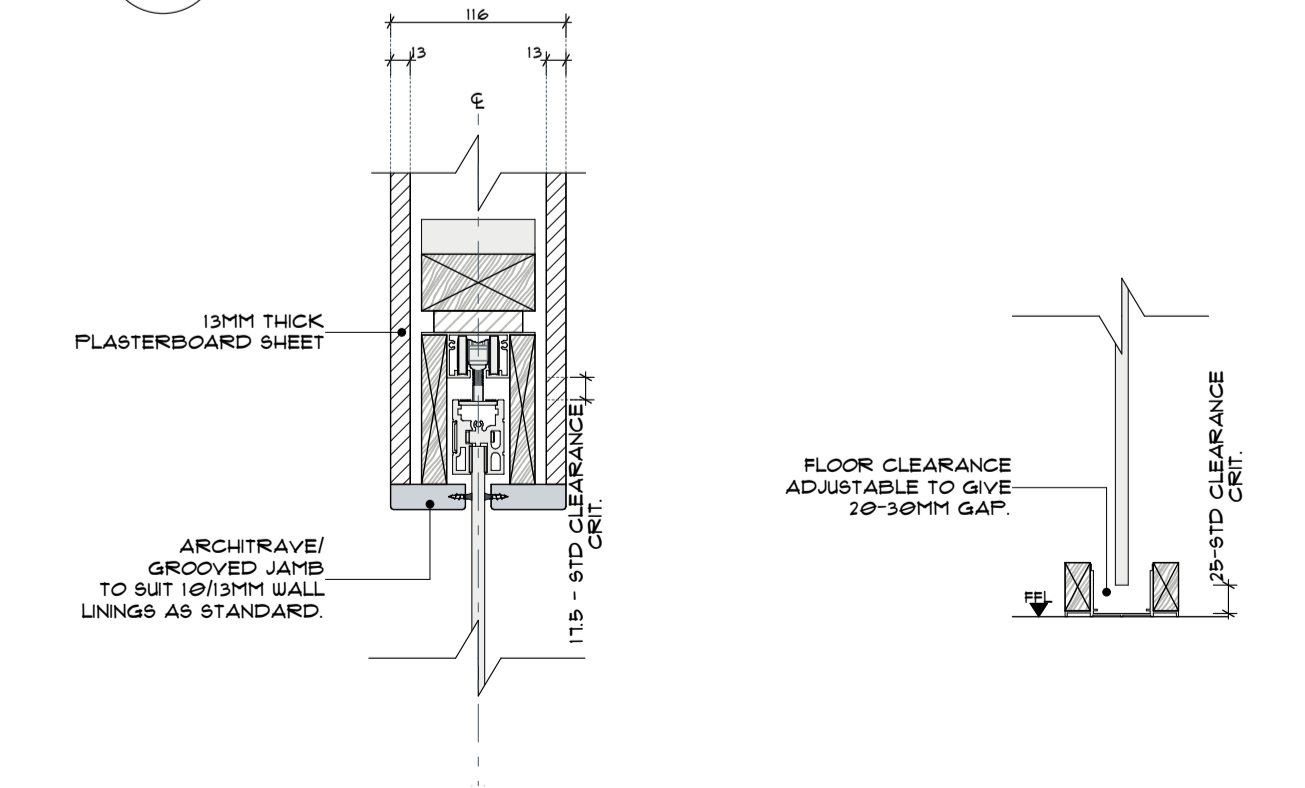
03 PARTITION ELEVATION
SCALE 1:20



04 PARTITION ELEVATION
SCALE 1:20



D05 SLIDING DOOR DETAIL
SCALE 1:5



A SLIDING DOOR DETAIL
SCALE 1:5

B SLIDING DOOR DETAIL
SCALE 1:5



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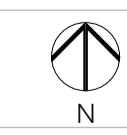
Partition Details

Job Number: PH947 Building Level: L0
Date: 10/12/2020 Scale: Various @ A1
Drawn: JR Checked: EF

201

Drawing Issue:

C



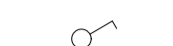
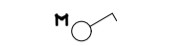





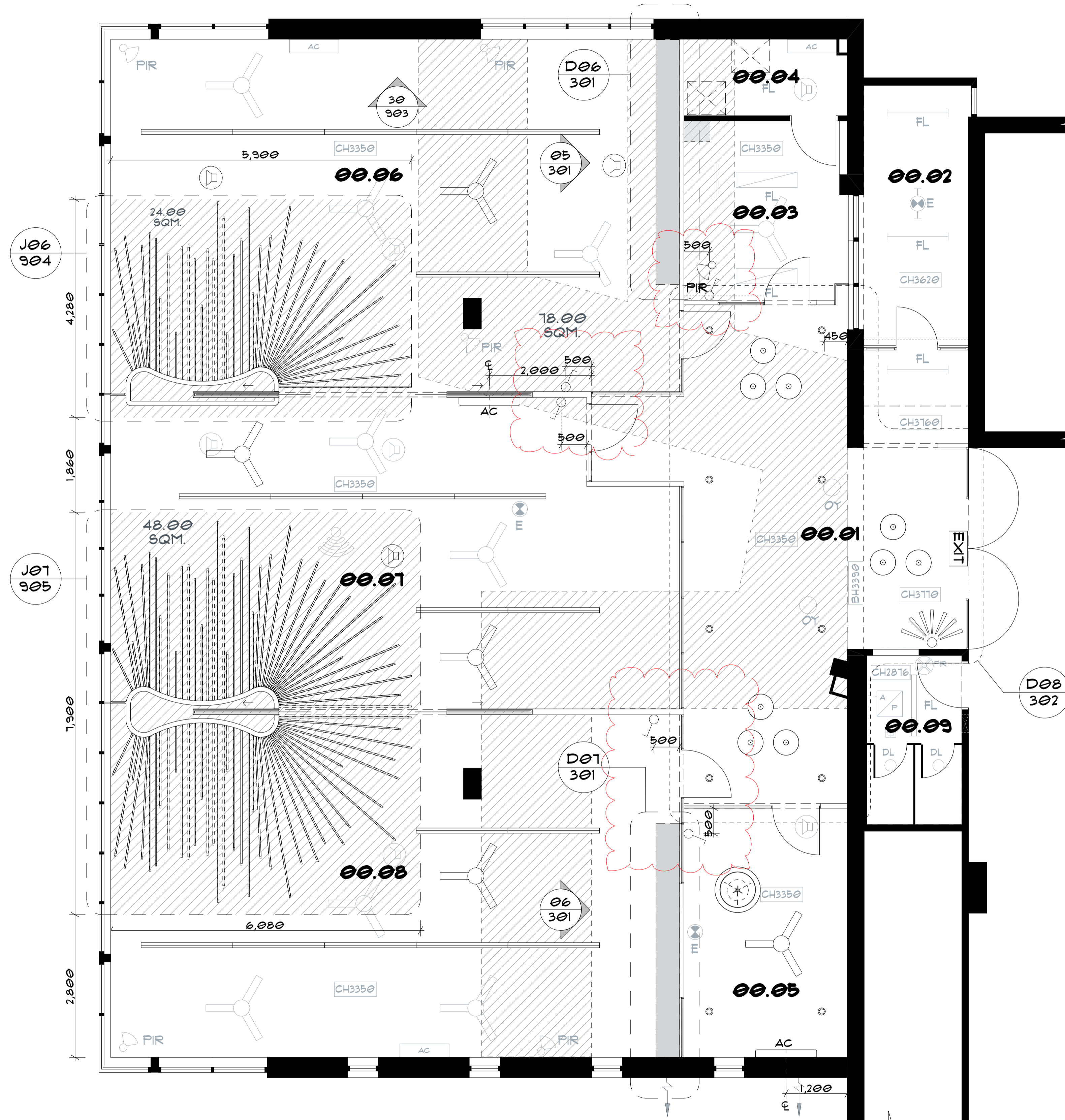
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REFLECTED CEILING NOTES

1. RELOCATE EXISTING LIGHT TROFFERS TO SUIT NEW PLAN LAYOUT.
2. INSTALL NEW LIGHT TROFFERS TO MATCH EXISTING WHERE NEEDED. REFER TO LAYOUT.
3. ALLOW TO RELOCATE SPRINKLERS, AIR CONDITIONER DIFFUSER, EXIT SIGNS, SPEAKERS (EWS) TO COMPLY WITH AUSTRALIAN STANDARDS AND NEW LAYOUT.

REFLECTED CEILING PLAN LEGEND

-  EXISTING SET CEILING
-  NEW PLASTERBOARD CEILING, 2100MM APFL
-  NEW LIGHT SWITCH
-  NEW MASTER LIGHT SWITCH
-  NEW SPLIT SYSTEM A.C.
-  NEW MOTION LIGHT SENSOR
-  REPAIR WORK TO EXISTING CEILING TOTAL: 180 SQM



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**For Construction
 Reflected Ceiling Plan**

Job Number: PH947 Building Level: L0
 Date: 10/12/2020 Scale: 1:50 @ A1
 Drawn: JR Checked: EF

300

Drawing Issue:

E

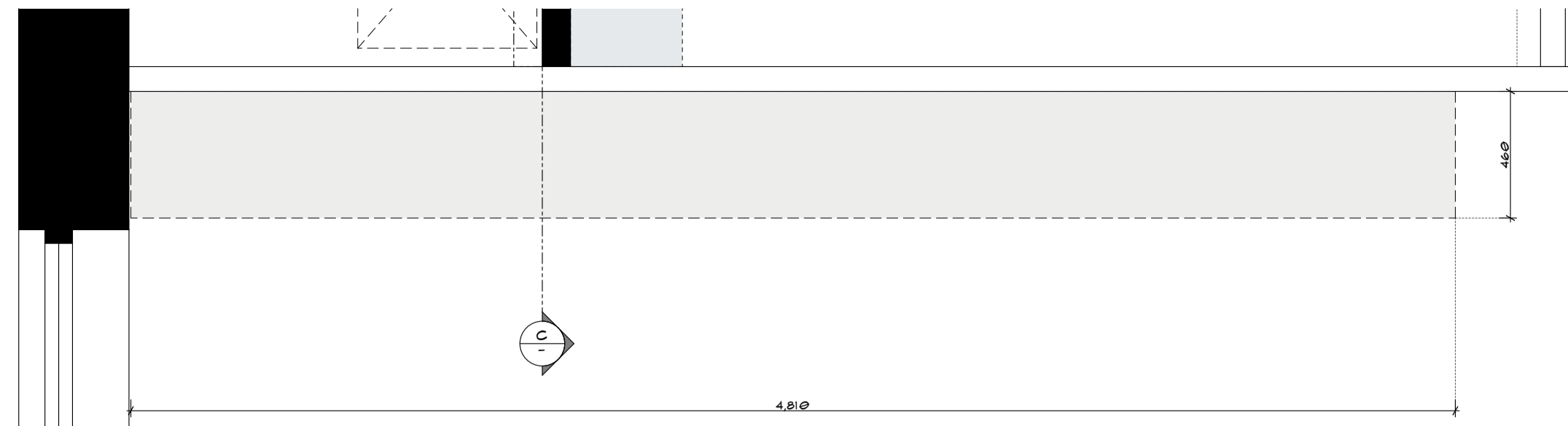


REFLECTED CEILING NOTES

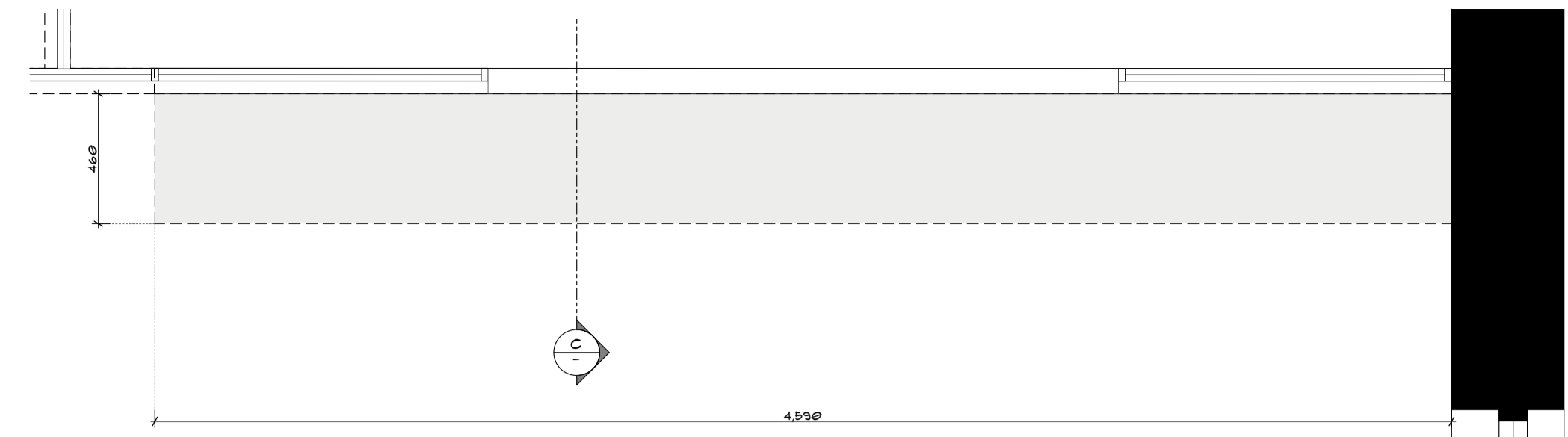
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3. ALLOW TO RELOCATE SPRINKLERS, AIR CONDITIONER DIFFUSER, EXIT SIGNS, SPEAKERS (EUS) TO COMPLY WITH AUSTRALIAN STANDARDS AND NEW LAYOUT.

CEILING DETAILS LEGEND

-  EXISTING SET CEILING
-  NEW PLASTERBOARD CEILING, 2100MM APFL
-  SURFACE FINISH

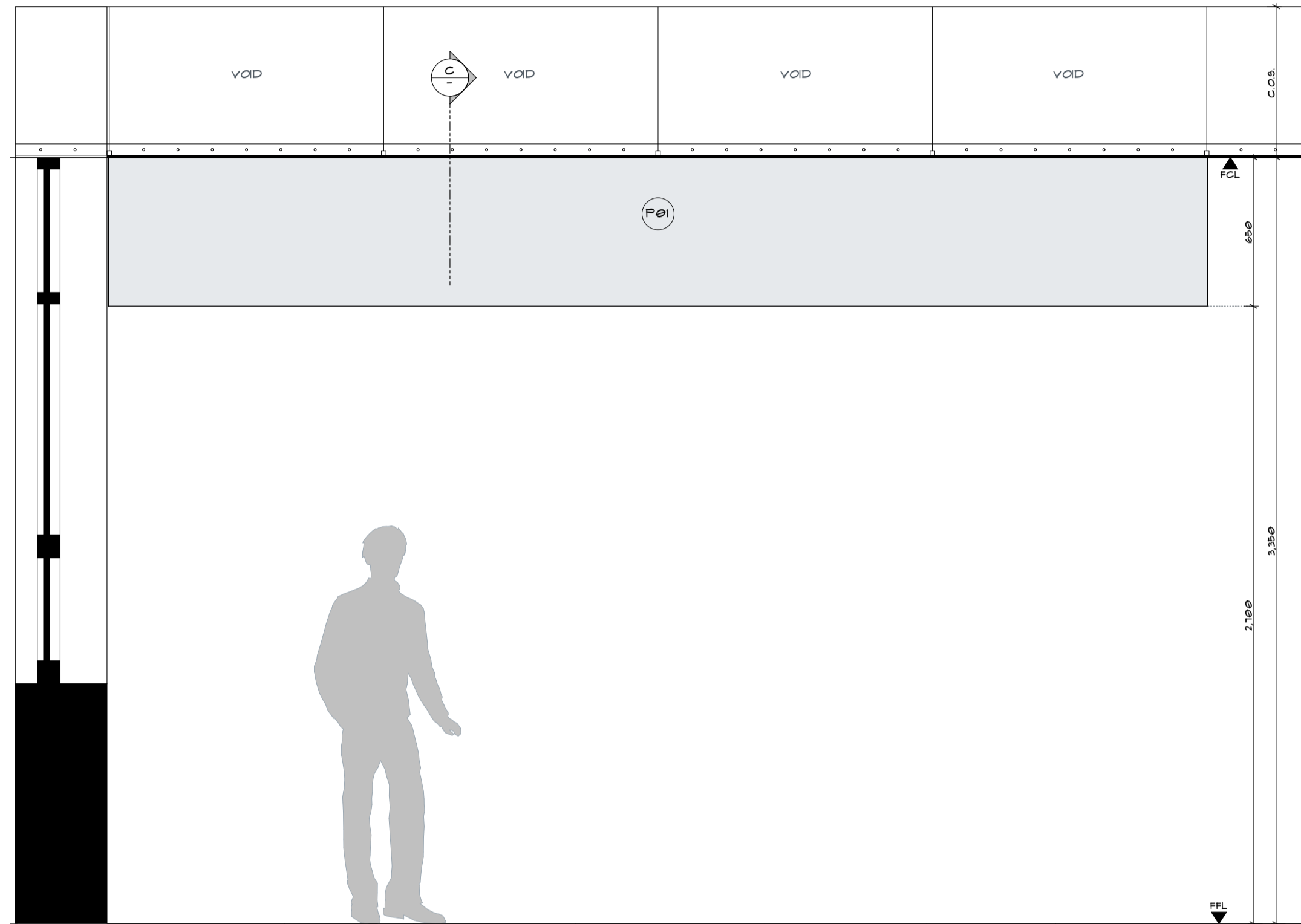


D00 CEILING BULKHEAD PLAN
SCALE 1:20

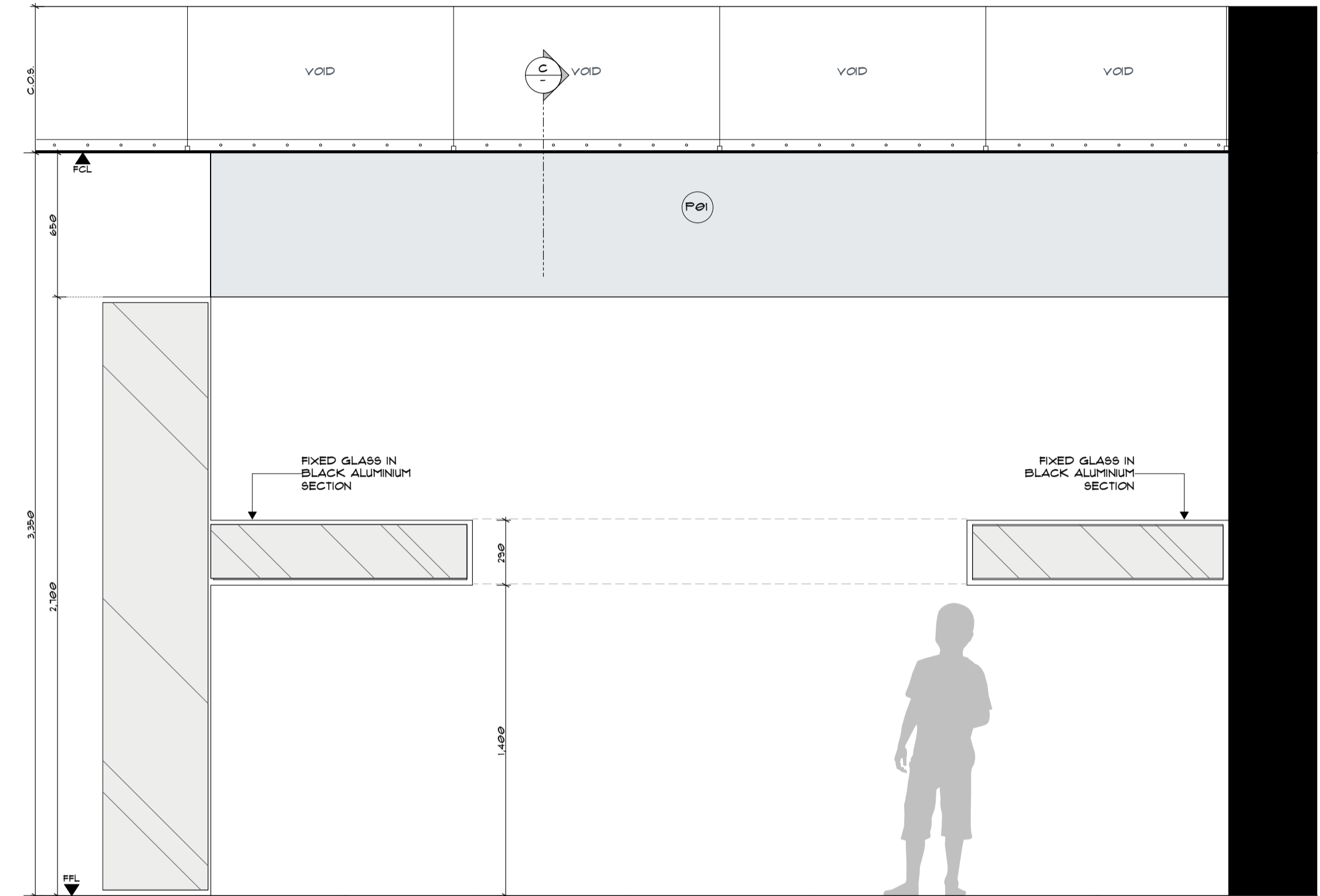


D01 CEILING BULKHEAD PLAN
SCALE 1:20

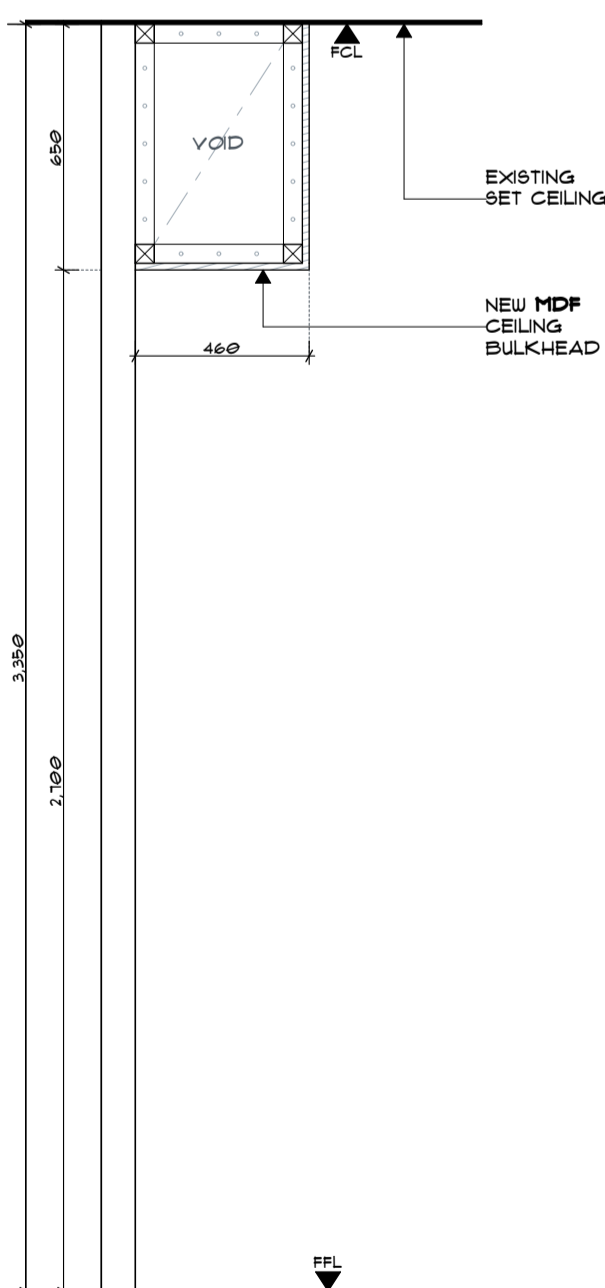
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E05 BULKHEAD ELEVATION
SCALE 1:20



E06 BULKHEAD ELEVATION
SCALE 1:20



C BULKHEAD SECTION
SCALE 1:20



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Ceiling Details

Job Number: PH947 Building Level: L0

Date: 10/12/2020 Scale: 1:20 @ A1

Drawn: JR Checked: EF

301

Drawing Issue:


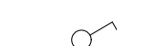

C



RELOCATED CEILING NOTES

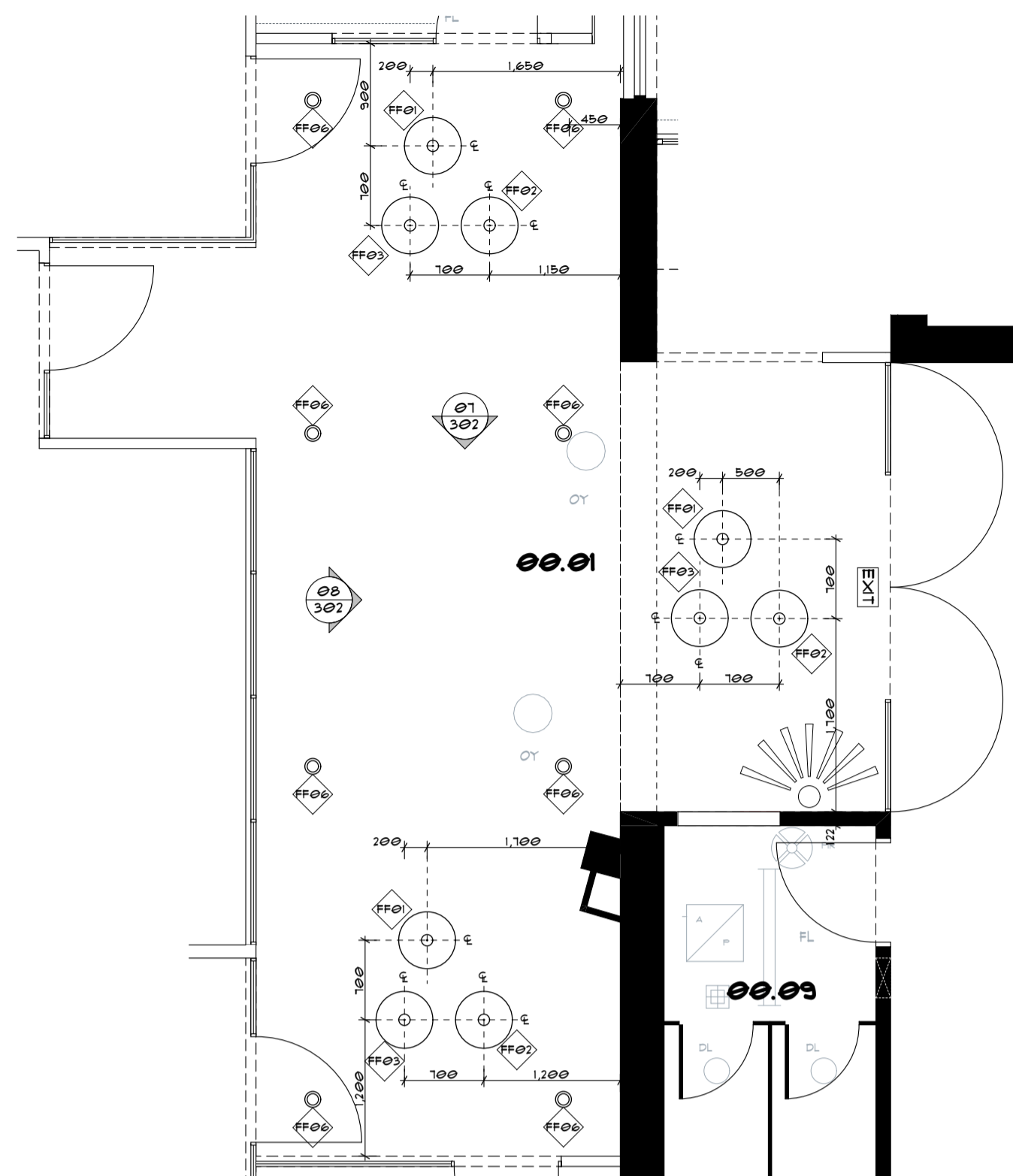
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3. ALLOW TO RELOCATE SPRINKLERS, AIR CONDITIONER DIFFUSER, EXIT SIGNS, SPEAKERS (EUS) TO COMPLY WITH AUSTRALIAN STANDARDS AND NEW LAYOUT.

CEILING DETAILS LEGEND

-  EXISTING SET CEILING
-  NEW PLASTERBOARD CEILING, 2100MM AFFL
-  NEW LIGHT SWITCH
-  NEW MASTER LIGHT SWITCH
-  LIGHTING FIXTURE LABEL

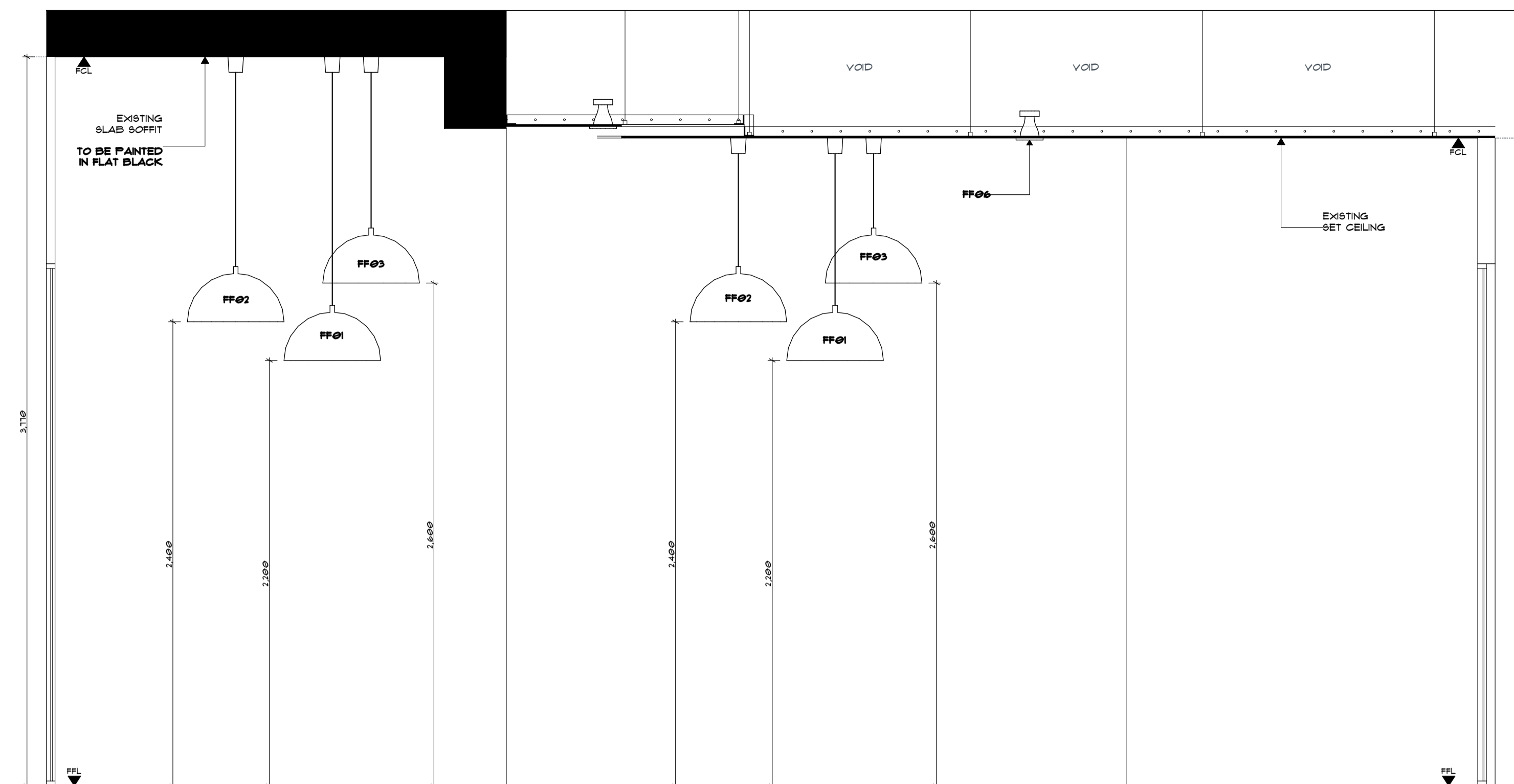
LIGHTING FIXTURES LEGEND

- FF01** - PORCELAIN PENDANT LIGHT 2200 AFFL
- FF02** - PORCELAIN PENDANT LIGHT 2400 AFFL
- FF03** - PORCELAIN PENDANT LIGHT 2600 AFFL
- FF04** - DIMMABLE PENDANT LIGHT
- FF05 (LED)** - LED STRIP LIGHTING
- FF06** - RECESSED DOWNLIGHT
- FF01** - SUSPENDED LINEAR LED LIGHTS 2350 AFFL

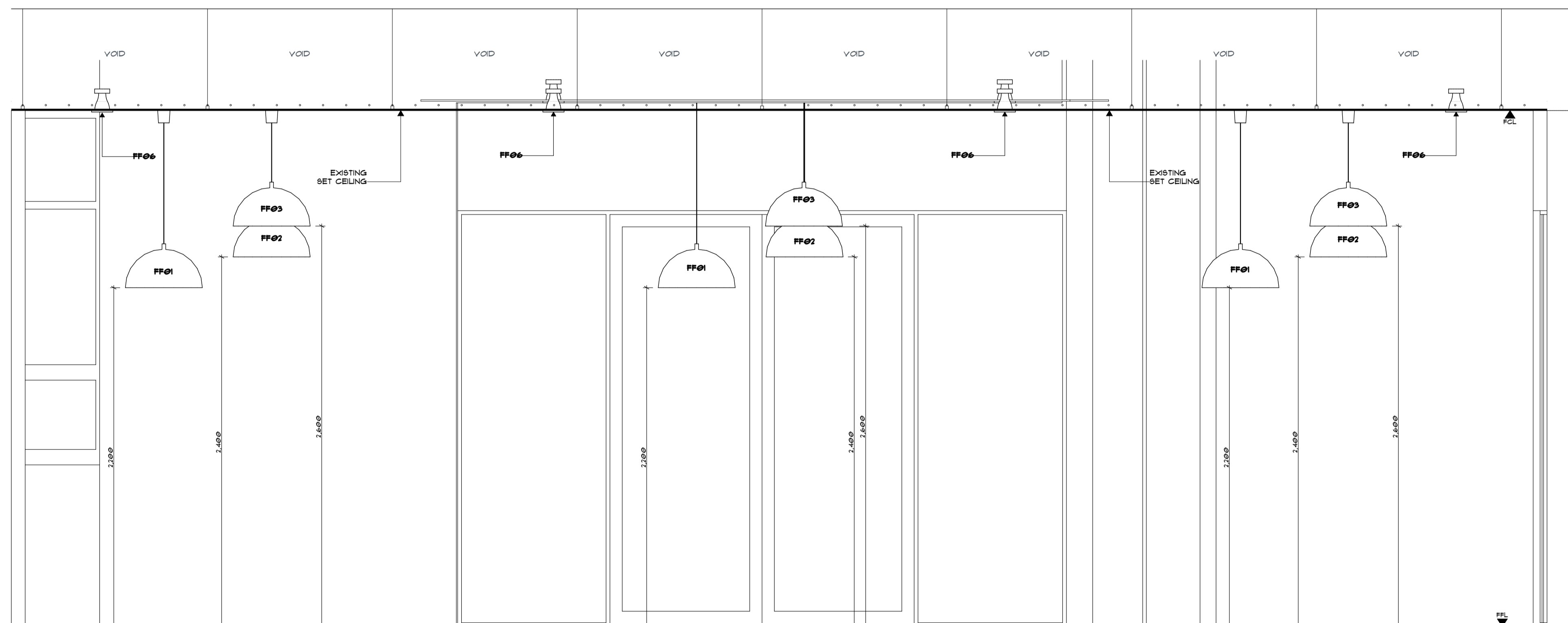


D00 CEILING DETAILS
SCALE 1:50

CONDUITS REQUIRED FOR PENDANTS LOCATED IN THIS AREA TO BE PAINTED BLACK TO MATCH PROPOSED CEILING PAINT FINISH



E01 CEILING ELEVATION
SCALE 1:20



E02 CEILING ELEVATION
SCALE 1:20



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302

Drawing Issue:



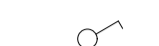
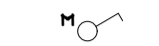


B



LIGHTING NOTES

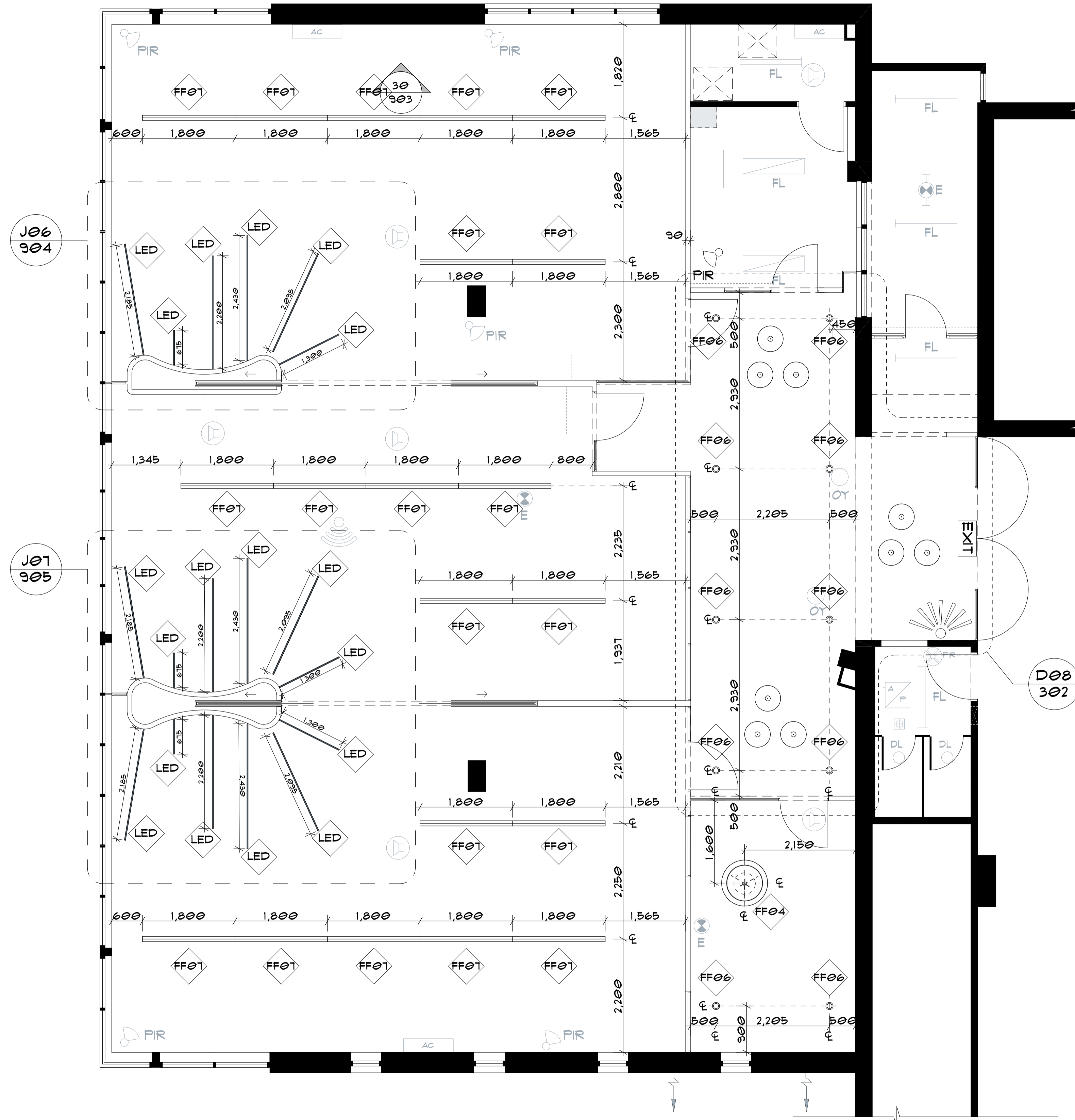
1. RELOCATE EXISTING LIGHT TROFFERS TO SUIT NEW PLAN LAYOUT.
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3. ALLOW TO RELOCATE SPRINKLERS, AIR CONDITIONER DIFFUSER, EXIT SIGNS, SPEAKERS (EWS) TO COMPLY WITH AUSTRALIAN STANDARDS AND NEW LAYOUT.

REFLECTED CEILING PLAN LEGEND

-  EXISTING 0ET CEILING
-  NEW PLASTERBOARD CEILING, 2100MM AFFL
-  NEW LIGHT SWITCH
-  NEW MASTER LIGHT SWITCH
-  LIGHTING FIXTURE LABEL
-  LED STRIP IN ARCHITECTURAL DETAIL (PLACED BETWEEN 5TH AND 6TH BRANCH)

LIGHTING FIXTURES LEGEND

- FF01** - PORCELAIN PENDANT LIGHT 2200 AFFL
- FF02** - PORCELAIN PENDANT LIGHT 2400 AFFL
- FF03** - PORCELAIN PENDANT LIGHT 2600 AFFL
- FF04** - DIMMABLE PENDANT LIGHT
- FF05 (LED)** - LED STRIP LIGHTING (A)
- FF06** - RECESSED DOWNLIGHT
- FF07** - SUSPENDED LINEAR LED LIGHTS 2350 AFFL TO UNDERSIDE OF CEILING



Rev	Issue Date	By	Description
A	10.02.2020	JR	For Tender
B	24.08.2020	GG	For Construction



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SCS Randwick - OLSH

193 Avoca Street
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For Construction

Lighting Plan

Job Number: PH947 Building Level: L0
 Date: 10/12/2020 Scale: 1:50 @ A1
 Drawn: JR Checked: EF

310

Drawing Issue:

B

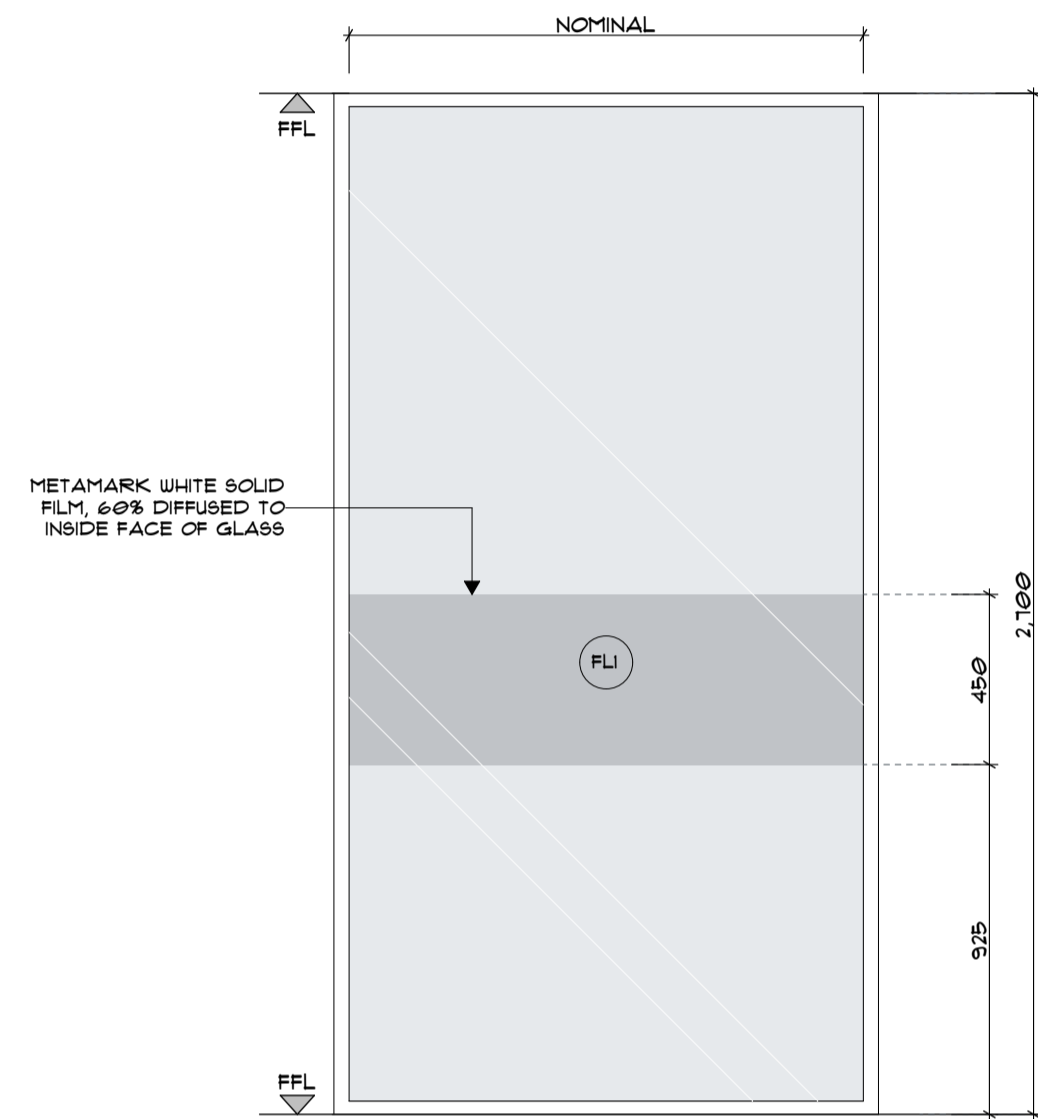


FINISHES NOTES

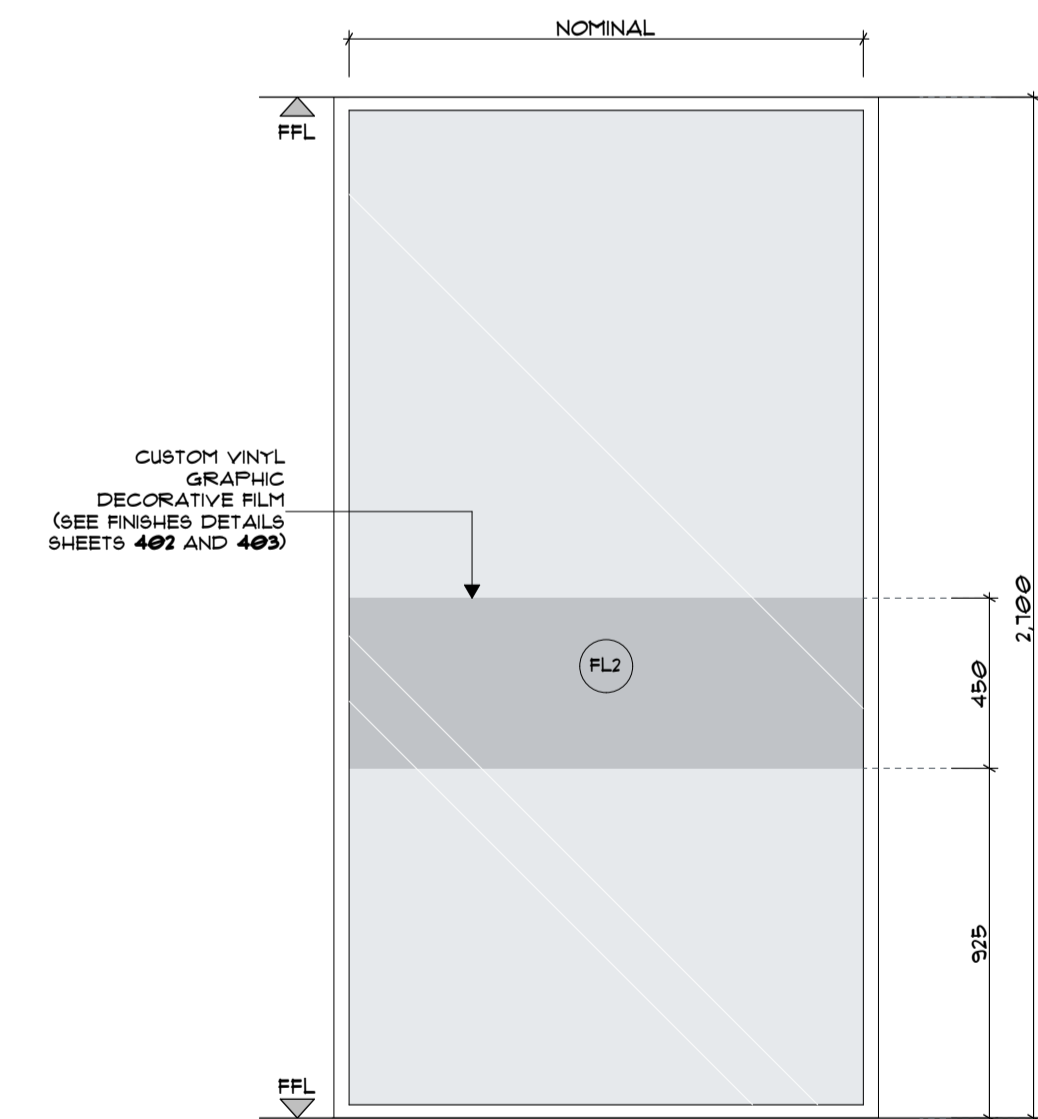
1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE FINISHES SCHEDULE.
2. UNLESS OTHERWISE NOTED BASE BUILDING WALLS, SILLS, COLUMNS AND DOORS ARE TO BE PAINTED.
3. FOR AREAS OF NEW WORKS OR MAKEGOOD, PAINT P01 UNLESS OTHERWISE NOTED, REFER TO FINISHES SCHEDULE FOR SPECIFICATIONS.
4. ALLOW TO PAINT ALL NEW DOORS. REFER TO FINISHES SCHEDULE FOR SPECIFICATION.
5. ALLOW FOR (1) COAT OF SEALER AND (2) COATS OF NOMINATED TOP COAT. PAINT TO WALLS AND DOORS AS NOMINATED. REFER TO FINISHES SCHEDULE FOR SPECIFICATION.
6. ALLOW TO PAINT SET ENDS PRIOR TO FIXING ALUMINUM SECTIONS.

FINISHES PLAN LEGEND

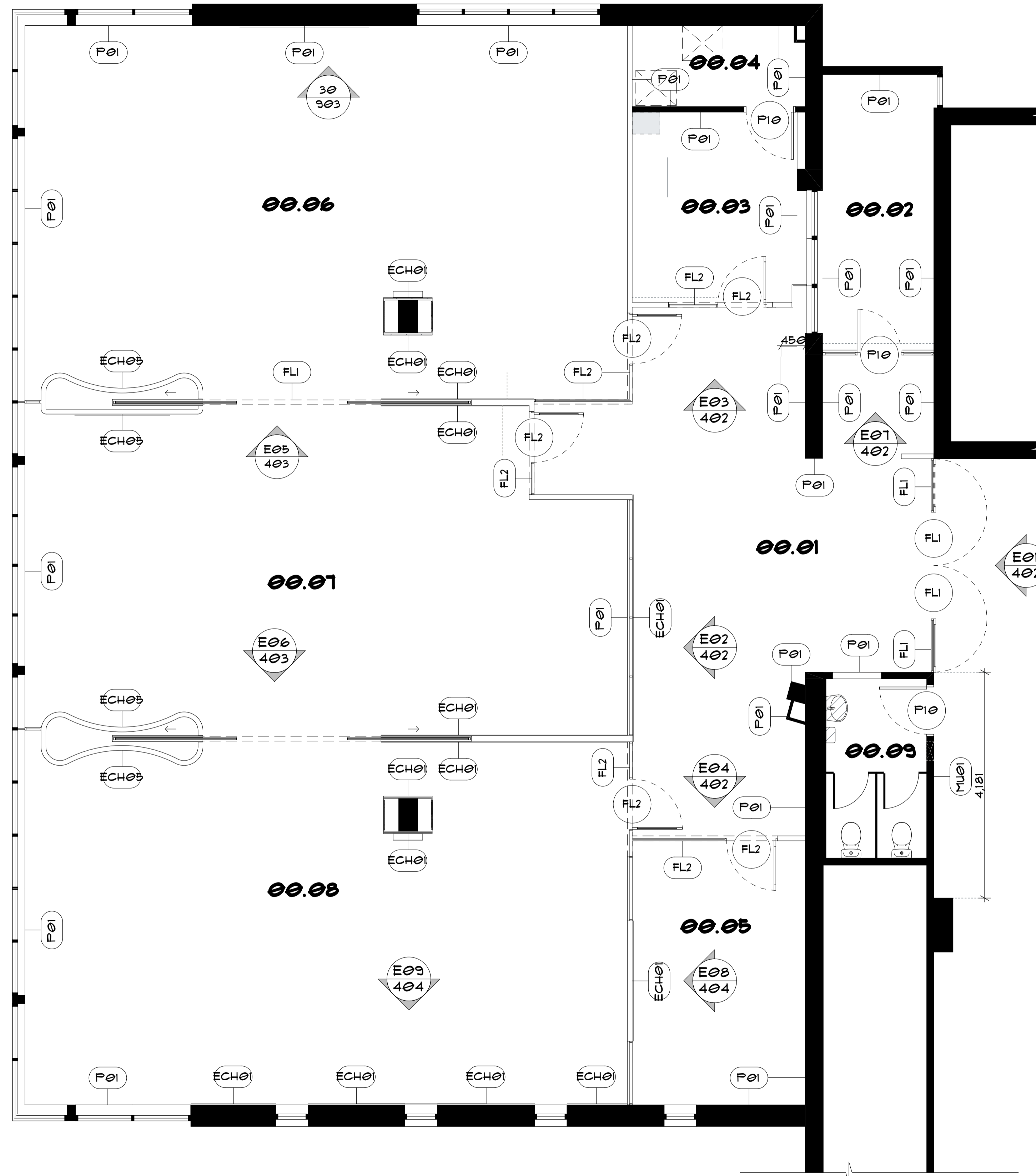
- WALL SURFACE FINISH
- DOOR SURFACE FINISH



FL1 - TYPICAL FILM DETAIL
SCALE 1:20



FL2 - TYPICAL FILM DETAIL
SCALE 1:20



Rev	Issue Date	By	Description
A	20.01.2020	JR	For Tender
B	10.02.2020	JR	For Tender
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Finishes Plan

Job Number: PH947 Building Level: L0
Date: 10/12/2020 Scale: 1:50, 1:20 @ A1
Drawn: JR Checked: EF

400

Drawing Issue:

C



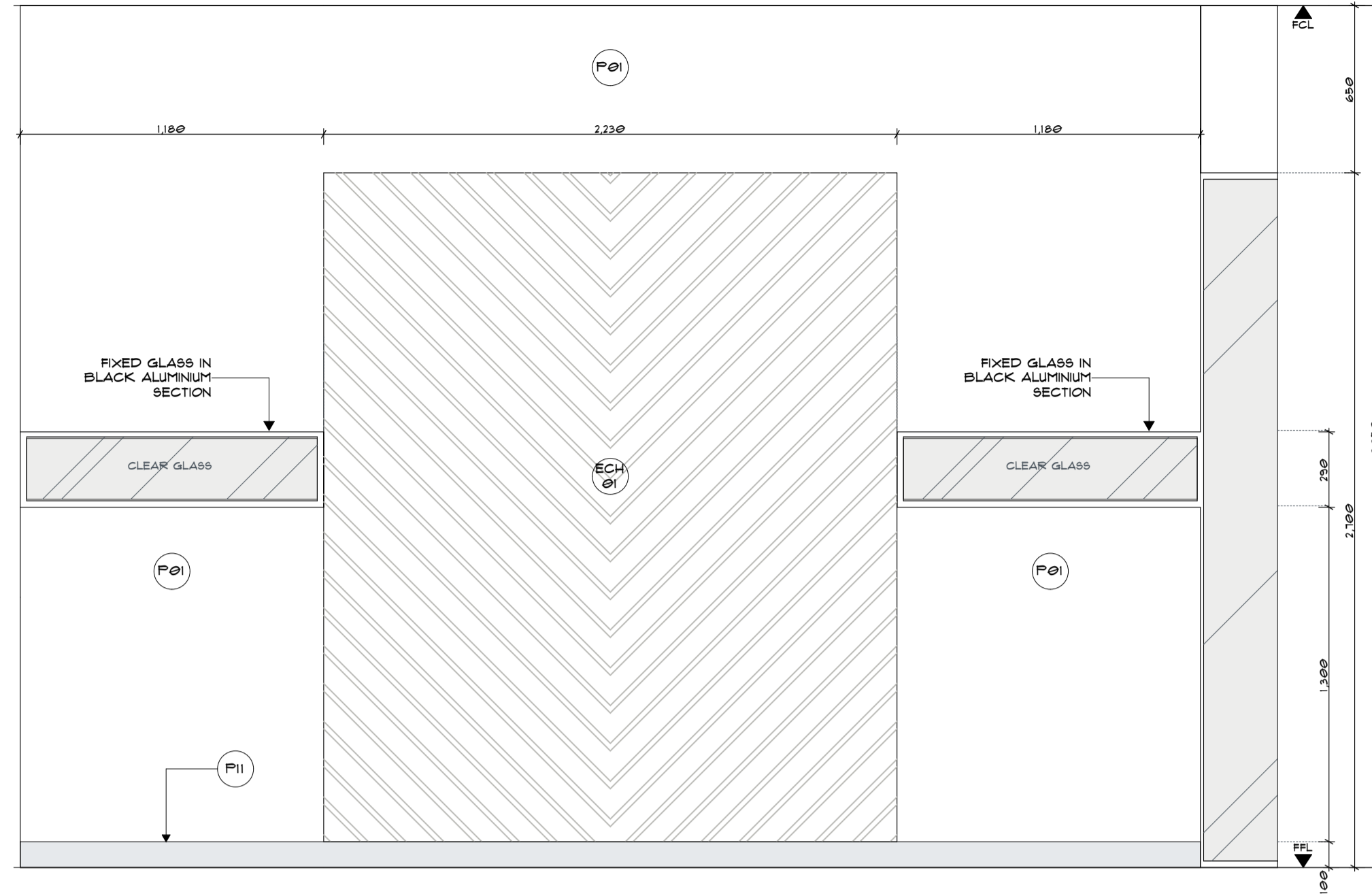
FINISHES NOTES

1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE FINISHES SCHEDULE.
2. UNLESS OTHERWISE NOTED BASE BUILDING WALLS, SILLS, COLUMNS AND DOORS ARE NOT TO BE PAINTED.
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6. ALLOW TO PAINT SET ENDS PRIOR TO FIXING ALUMINIUM SECTIONS.

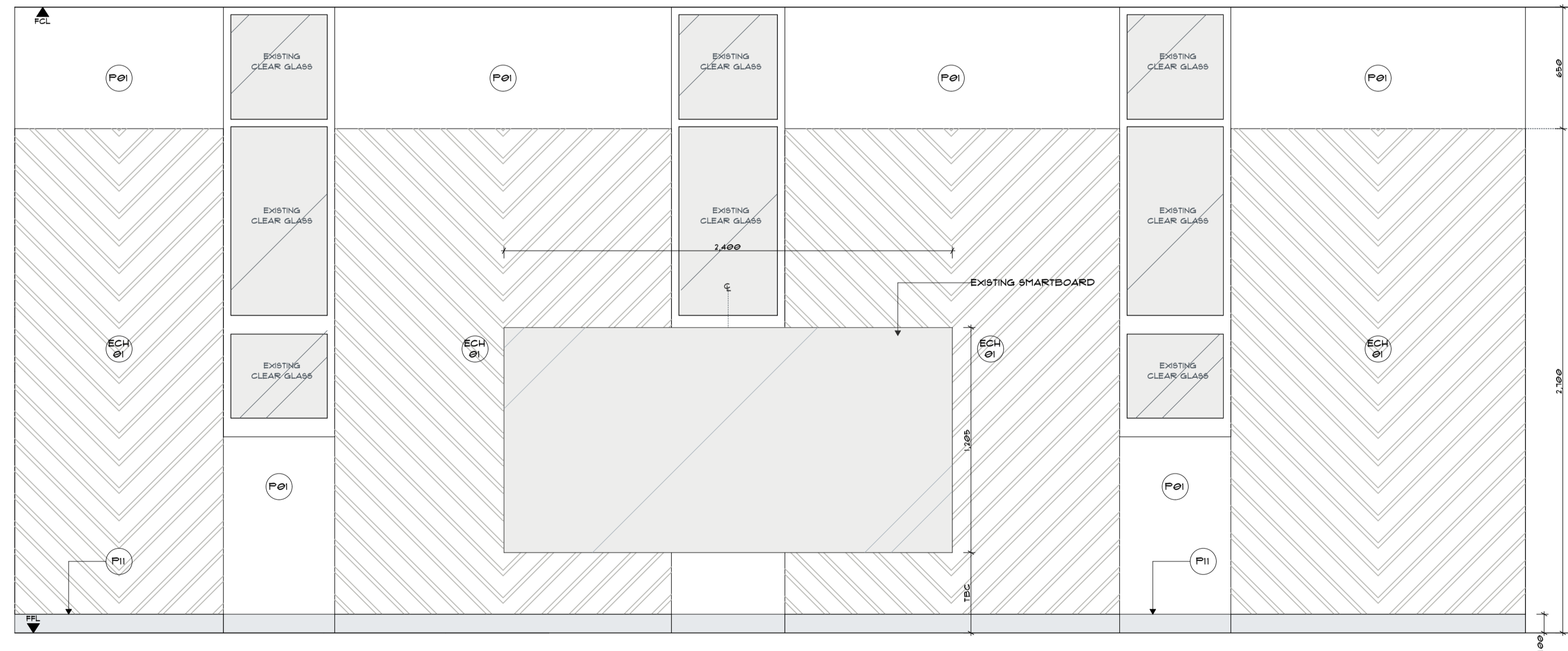
FINISHES LEGEND

○ SURFACE FINISH

CLIENT TO CONFIRM HEIGHT OF ALL SMART BOARDS ON SITE



E00 FINISHES DETAILS
SCALE 1:20



E00 FINISHES DETAILS
SCALE 1:20

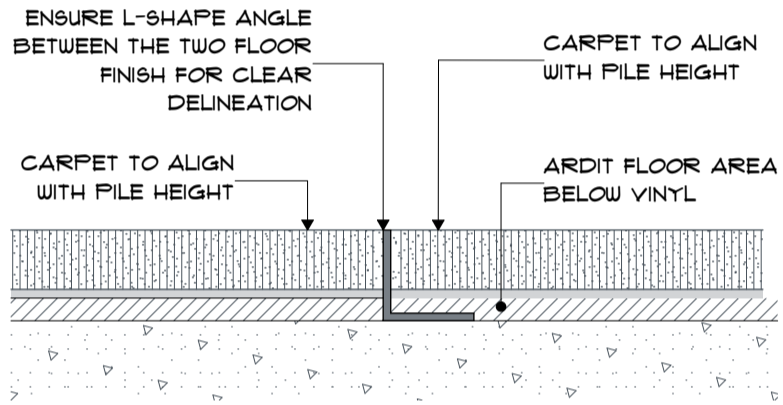


FLOOR FINISHES NOTES

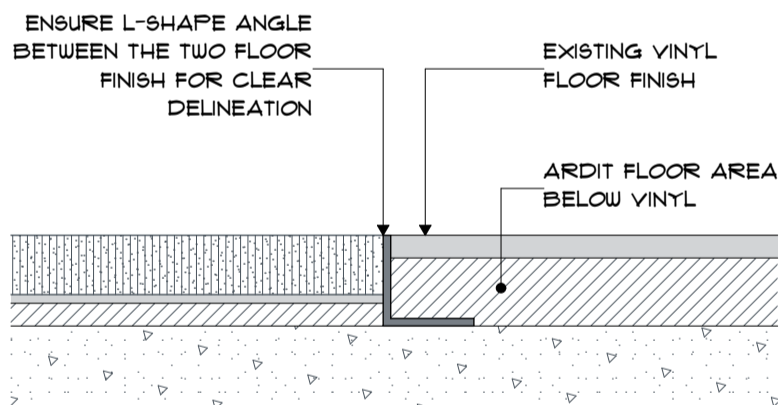
1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE FINISHES SCHEDULE.
2. MAKE GOOD AND LEVEL EXISTING FLOOR LEVELS WHERE NEEDED PRIOR TO ALL NEW FLOOR WORKS PROCEEDING.
3. REFER TO FLOOR JUNCTION DETAILS FOR NEW FLOORING.
4. SEE DETAIL DRAWINGS FOR PATTERNS AND GRAIN DIRECTIONS.
5. ENSURE SET OUT POINTS ARE ADHERED TO WHERE PROVIDED.

FLOOR FINISHES LEGEND

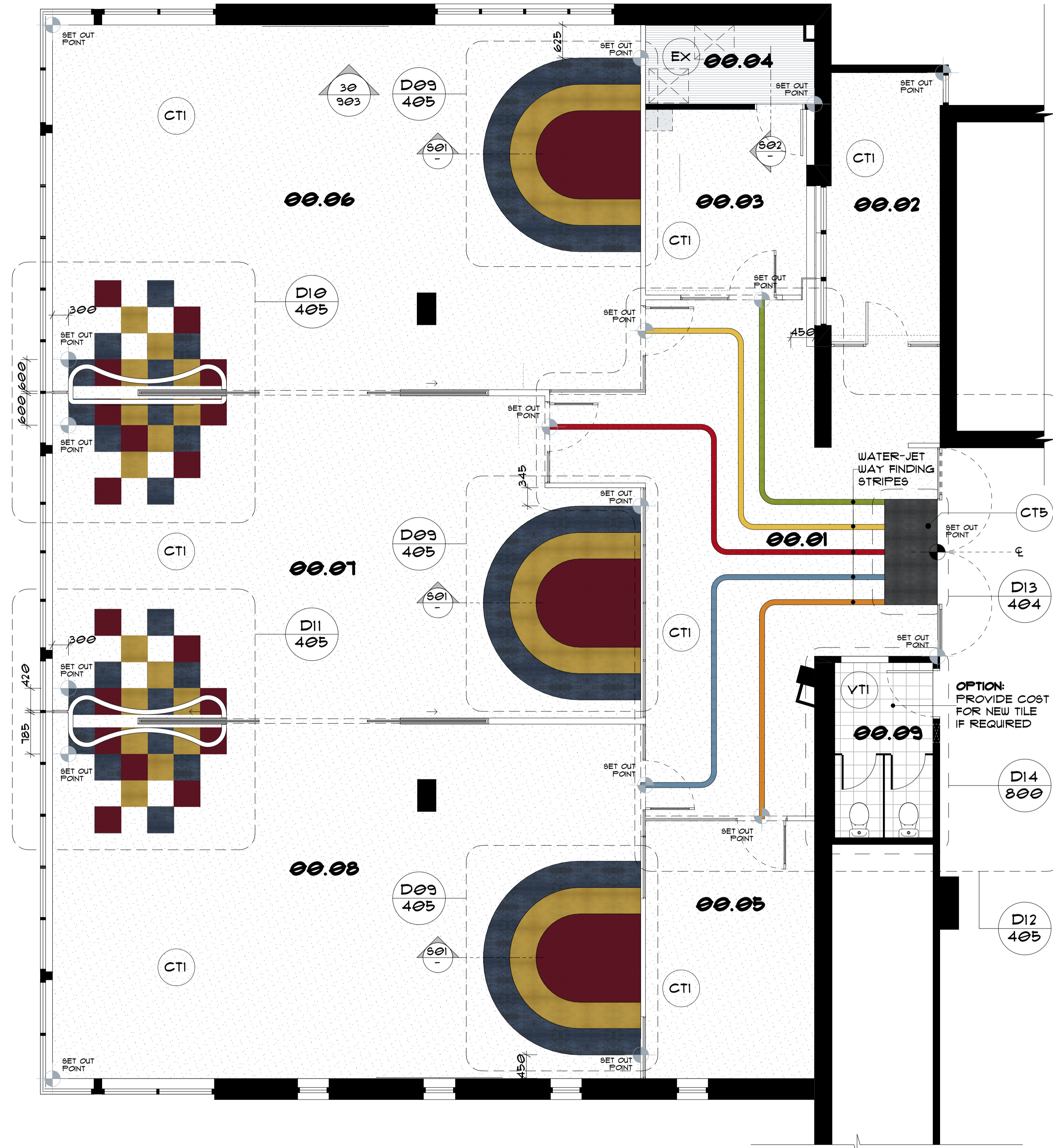
- FLOOR SURFACE FINISH
- FLOOR SET-OUT POINT
- FLOOR GRAIN DIRECTION
- CT1 - 500 X 500 CARPET TILE SIZE
PIXEL: STATIC 0095 STATISTIC
- CT2 - 500 X 500 CARPET TILE SIZE
PIXEL: STATIC 0242 RESOLUTION
- CT3 - 500 X 500 CARPET TILE SIZE
PIXEL: STATIC 1940 DATA
- CT4 - 500 X 500 CARPET TILE SIZE
VIVID: FIRE CRACKER B3
- CT5 - RECESSED ENTRANCE MAT 1000 X 2000
BLACK ALUMINUM EDGING



001 FLOOR JUNCTION DETAIL
SCALE 1:1



002 FLOOR JUNCTION DETAIL
SCALE 1:1



Rev	Issue Date	By	Description
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Floor Finishes Plan

Job Number: PH947 Building Level: L0
Date: 10/12/2020 Scale: 1:50, 1:1 @ A1
Drawn: JR Checked: EF

401

Drawing Issue:

C



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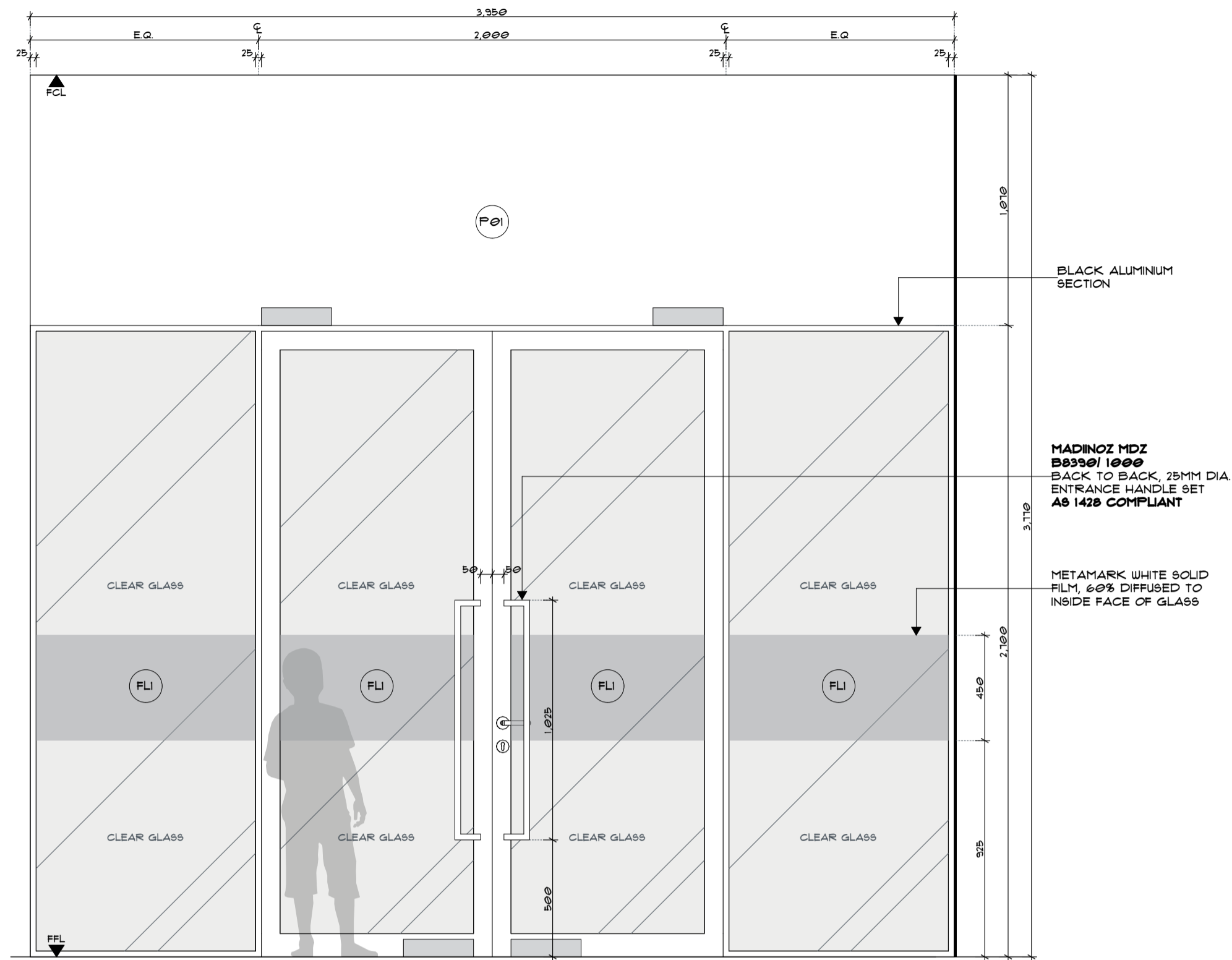
Rev	Issue Date	By	Description
A	20.01.2020	JR	For Tender
B	10.02.2020	JR	For Tender
C	24.08.2020	GG	For Construction
D	19.11.2020	GG	For Construction
E	10.12.2020	EF	For Construction

FINISHES NOTES

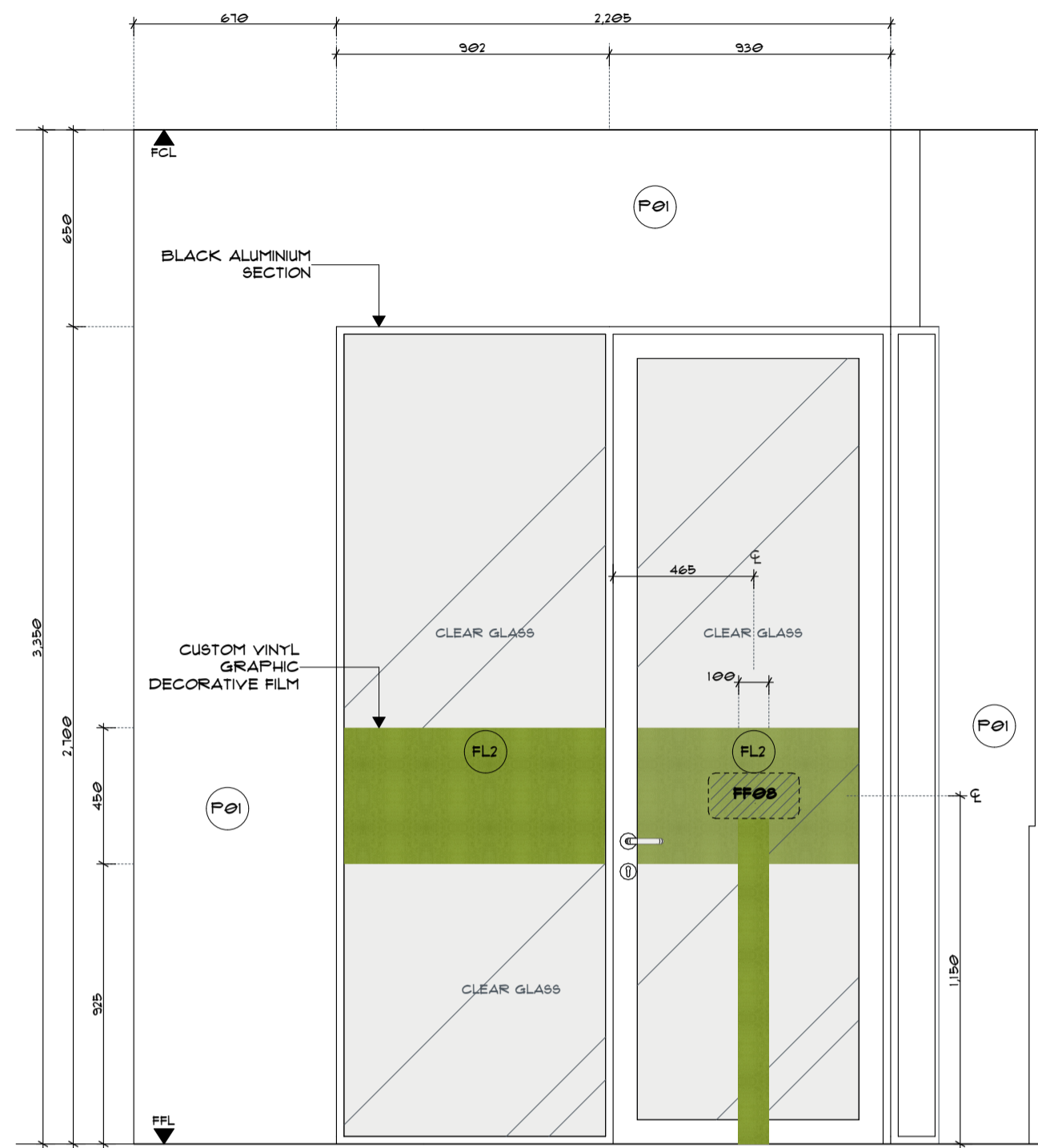
1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE FINISHES SCHEDULE.
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FINISHES LEGEND

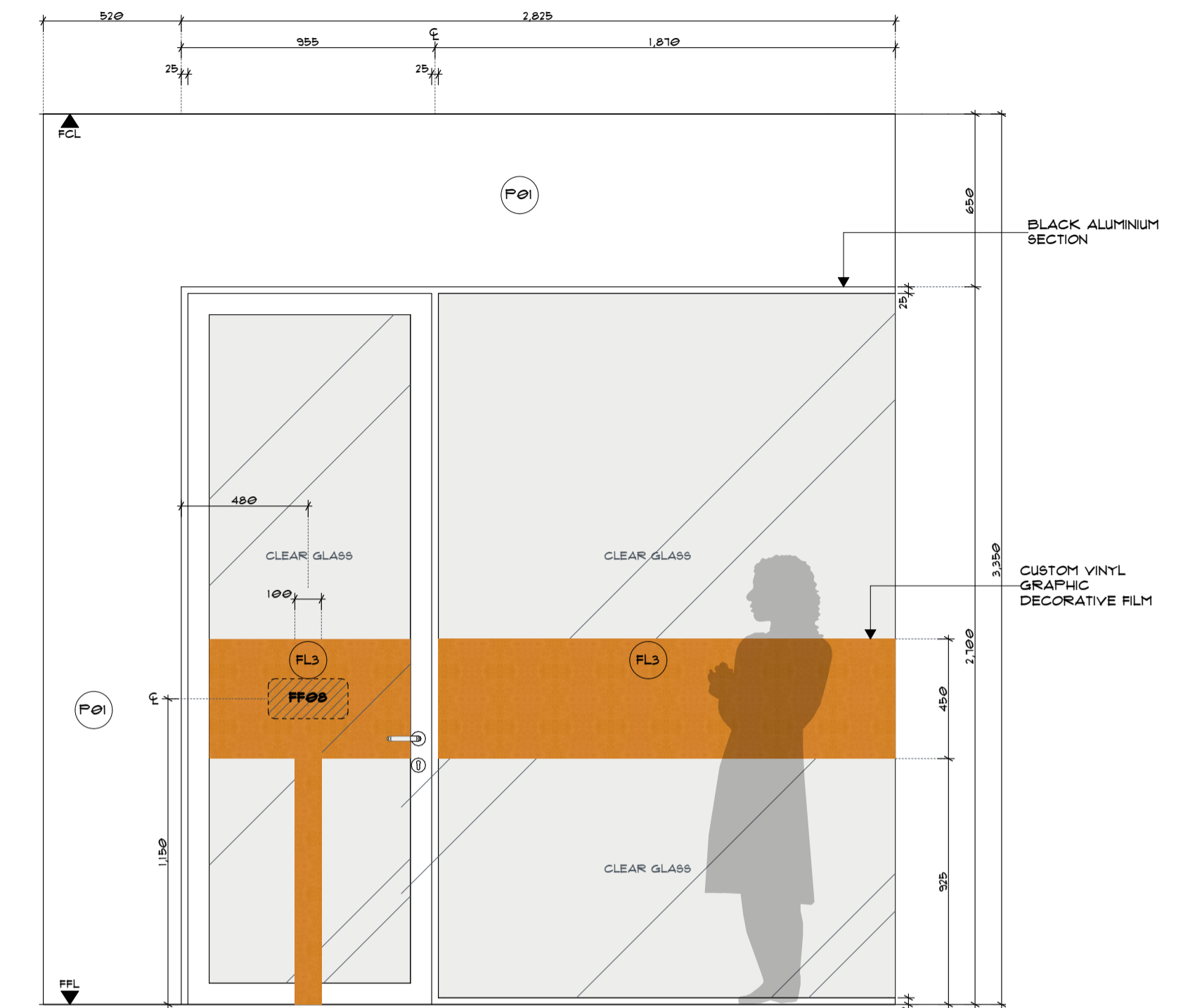
○ SURFACE FINISH



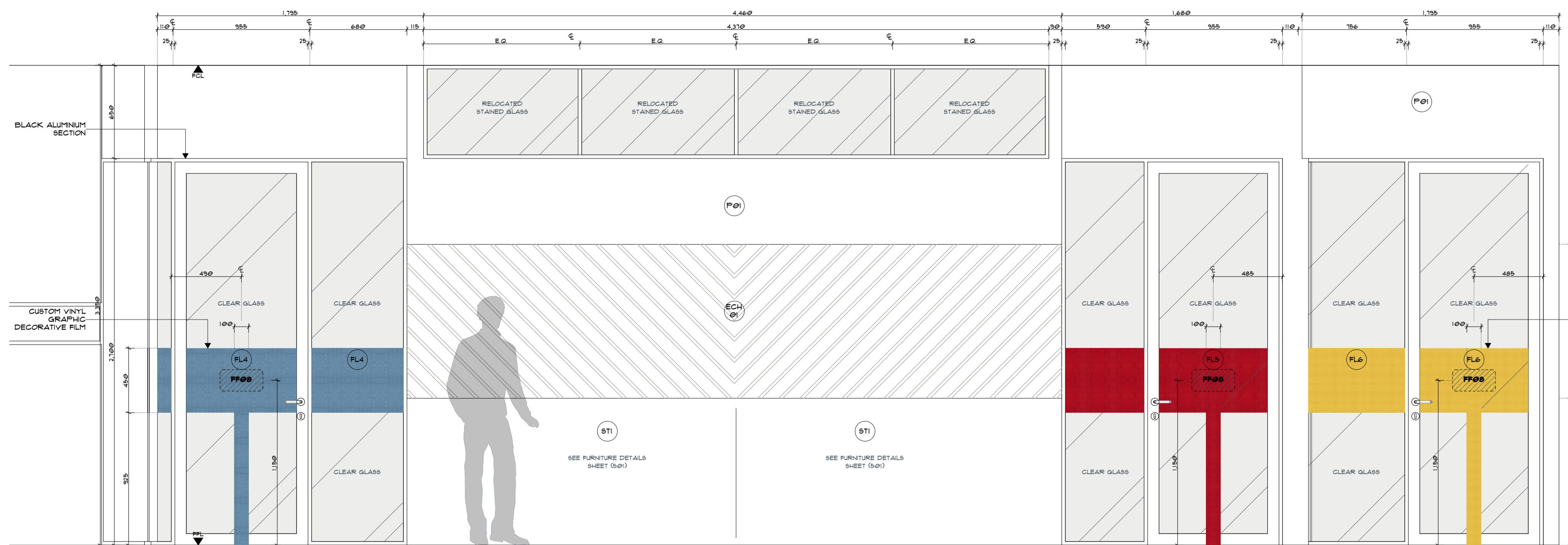
E01 FINISHES DETAILS
SCALE 1:20



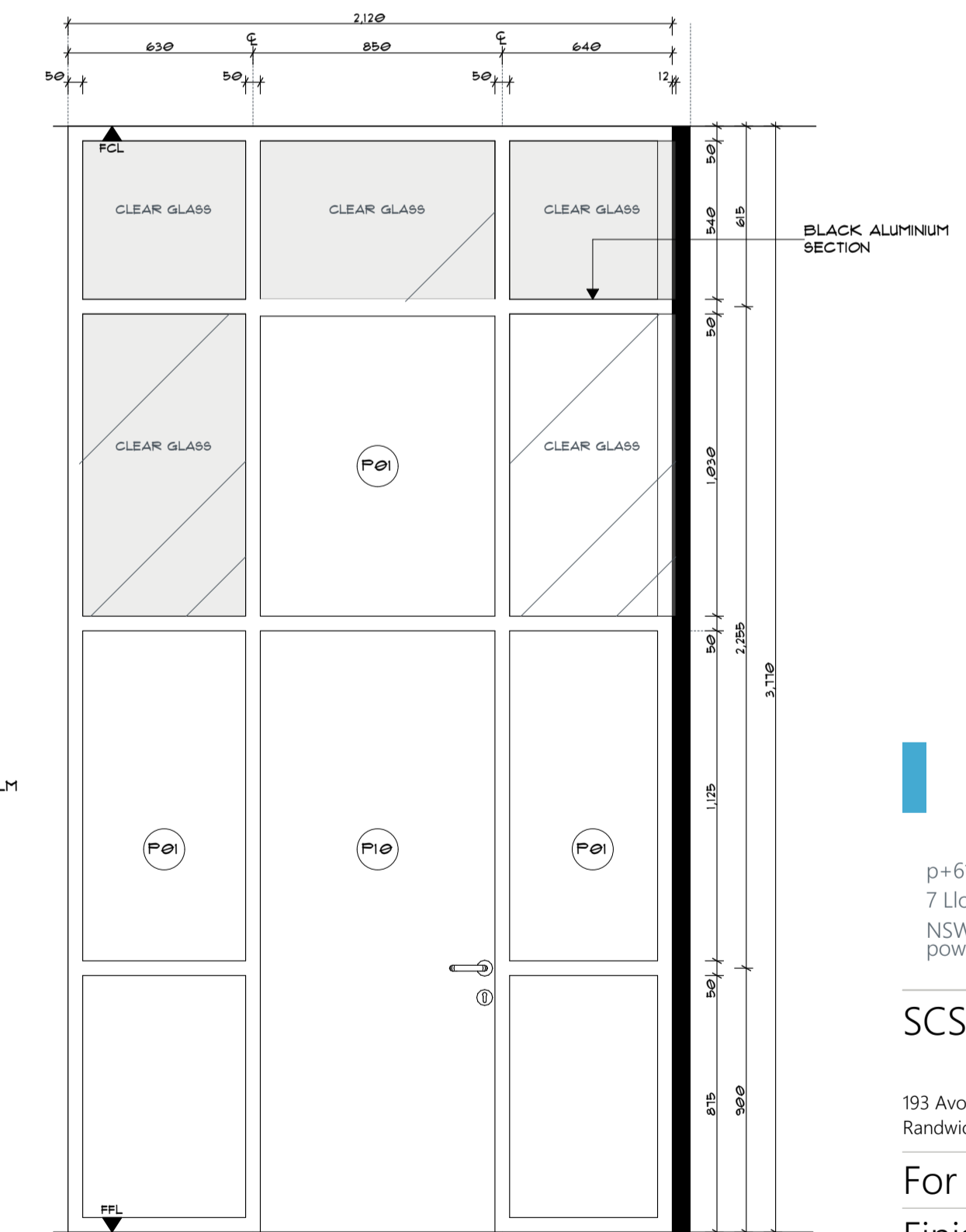
E03 FINISHES DETAILS
SCALE 1:20



E04 FINISHES DETAILS
SCALE 1:20



E02 FINISHES DETAILS
SCALE 1:20



E01 FINISHES DETAILS
SCALE 1:20



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**For Construction
Finishes Details**

Job Number: PH947 Building Level: L0
Date: 10/12/2020 Scale: 1:20 @ A1
Drawn: JR Checked: EF

402

Drawing Issue:



Rev	Issue Date	By	Description
A	20.01.2020	JR	For Tender
B	10.02.2020	JR	For Tender
C	24.08.2020	GG	For Construction

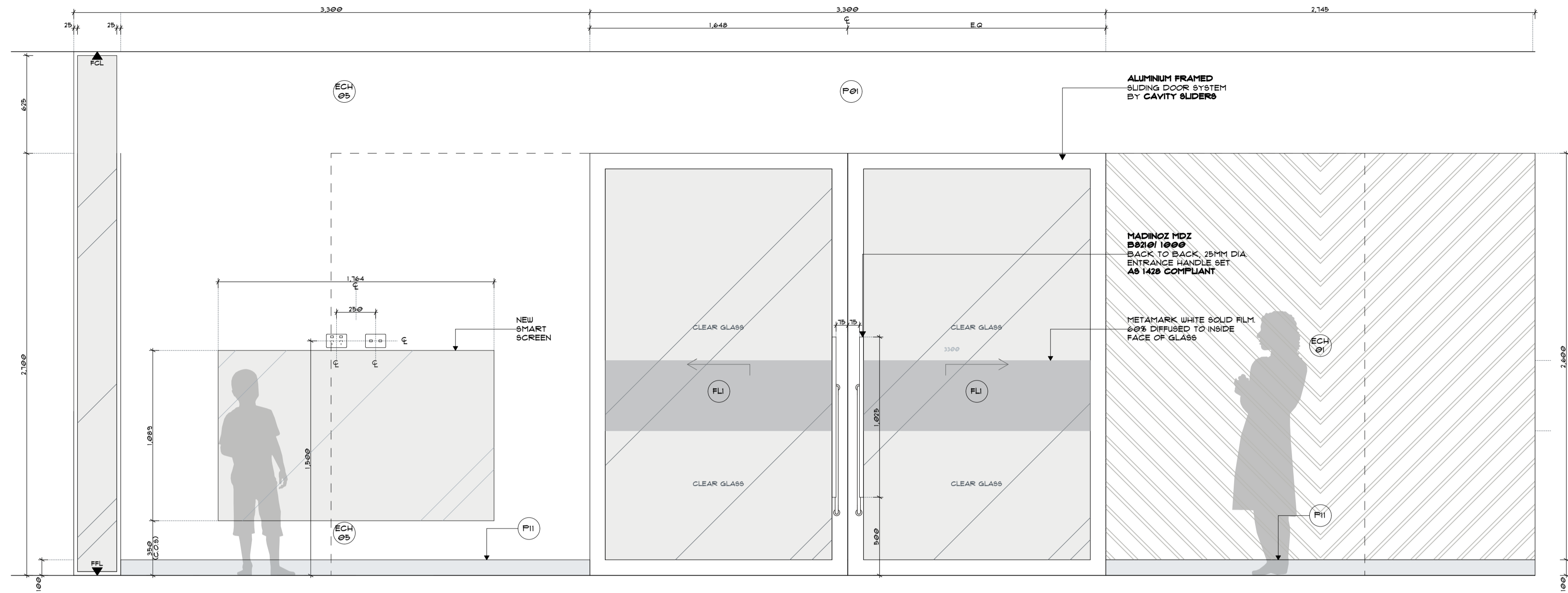
FINISHES NOTES

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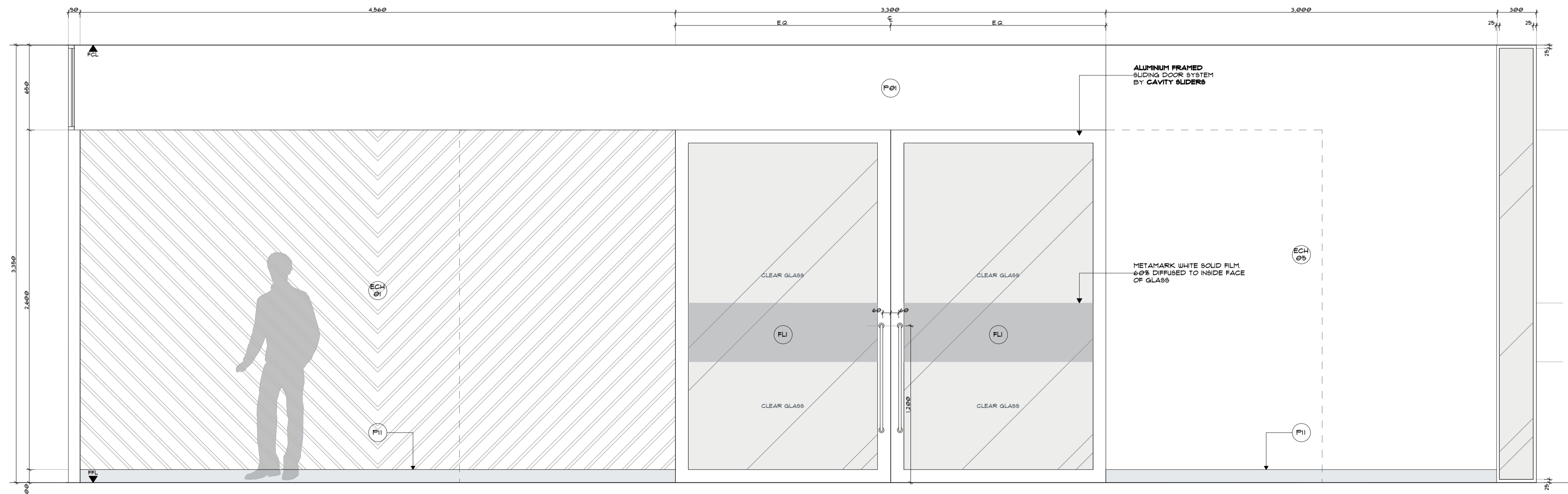
FINISHES LEGEND

○ SURFACE FINISH

CLIENT TO CONFIRM HEIGHT OF ALL SMART BOARDS ON SITE



E05 FINISHES DETAILS
SCALE 1:20



E06 FINISHES DETAILS
SCALE 1:20



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For Construction

Finishes Details

Job Number: PH947 Building Level: L0

Date: 10/12/2020 Scale: 1:20 @ A1

Drawn: JR Checked: EF

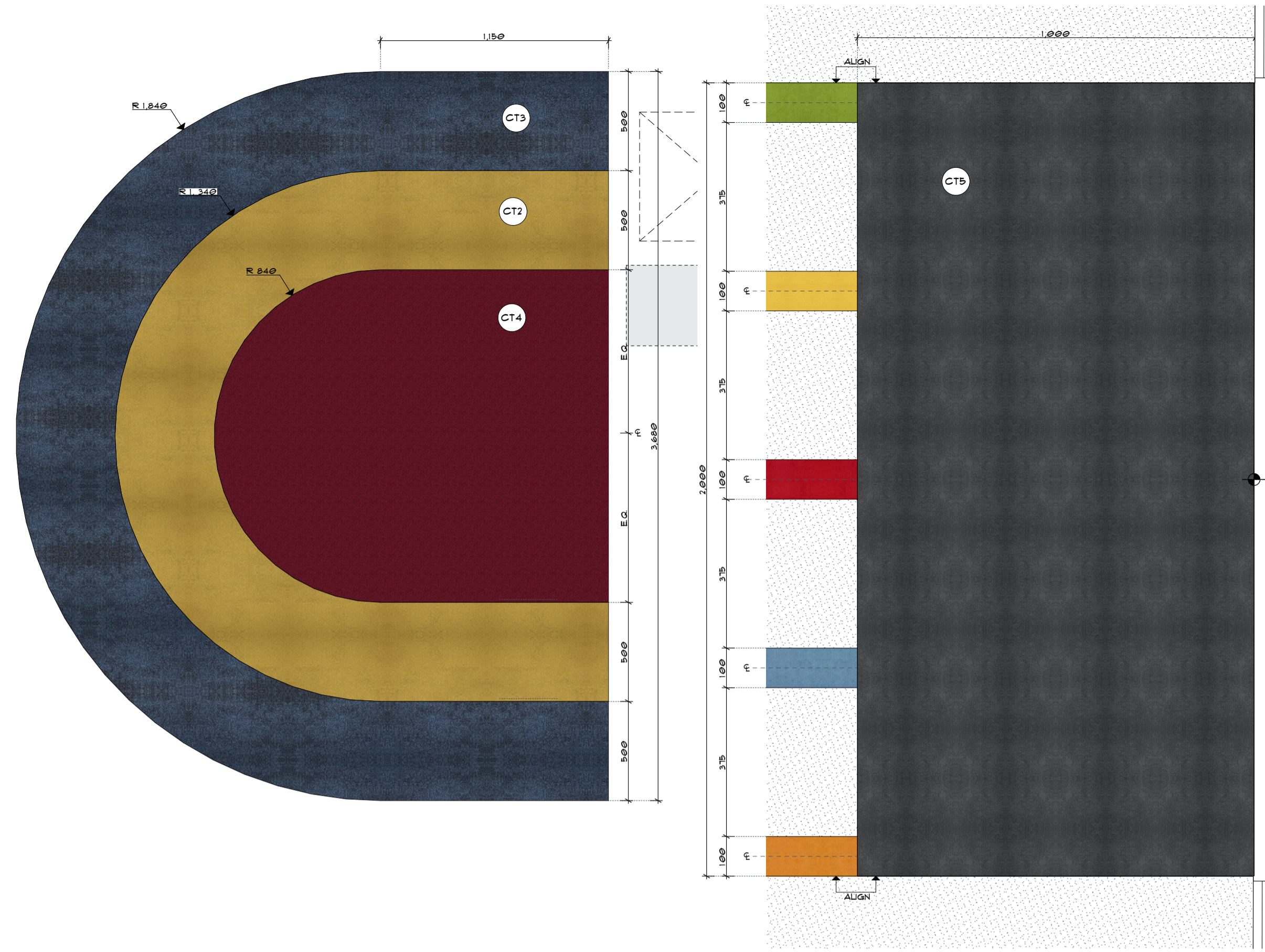
403

Drawing Issue:

C

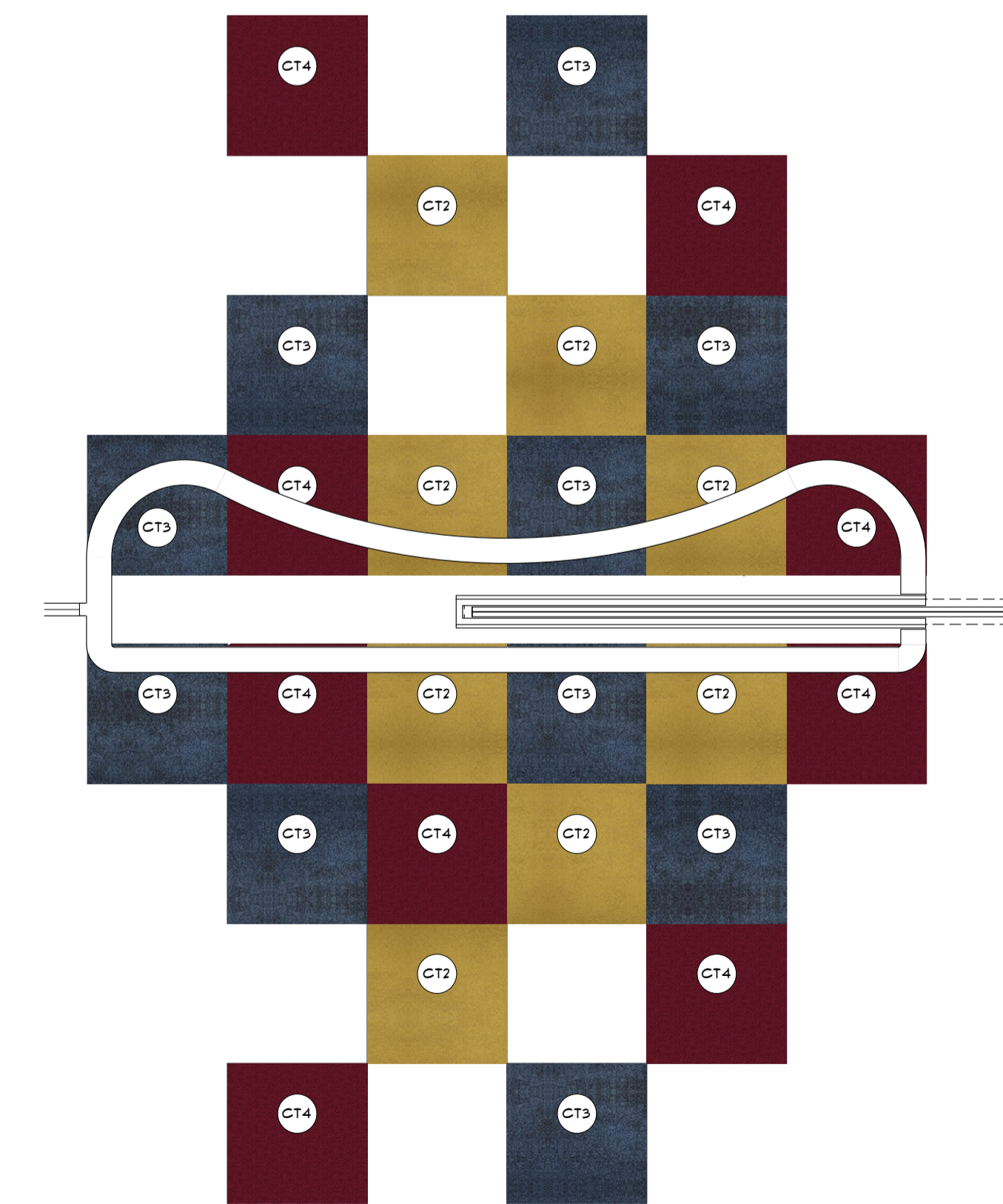


Rev	Issue Date	By	Description
A	20.01.2020	JR	For Tender
B	10.02.2020	JR	For Tender
C	24.08.2020	GG	For Construction

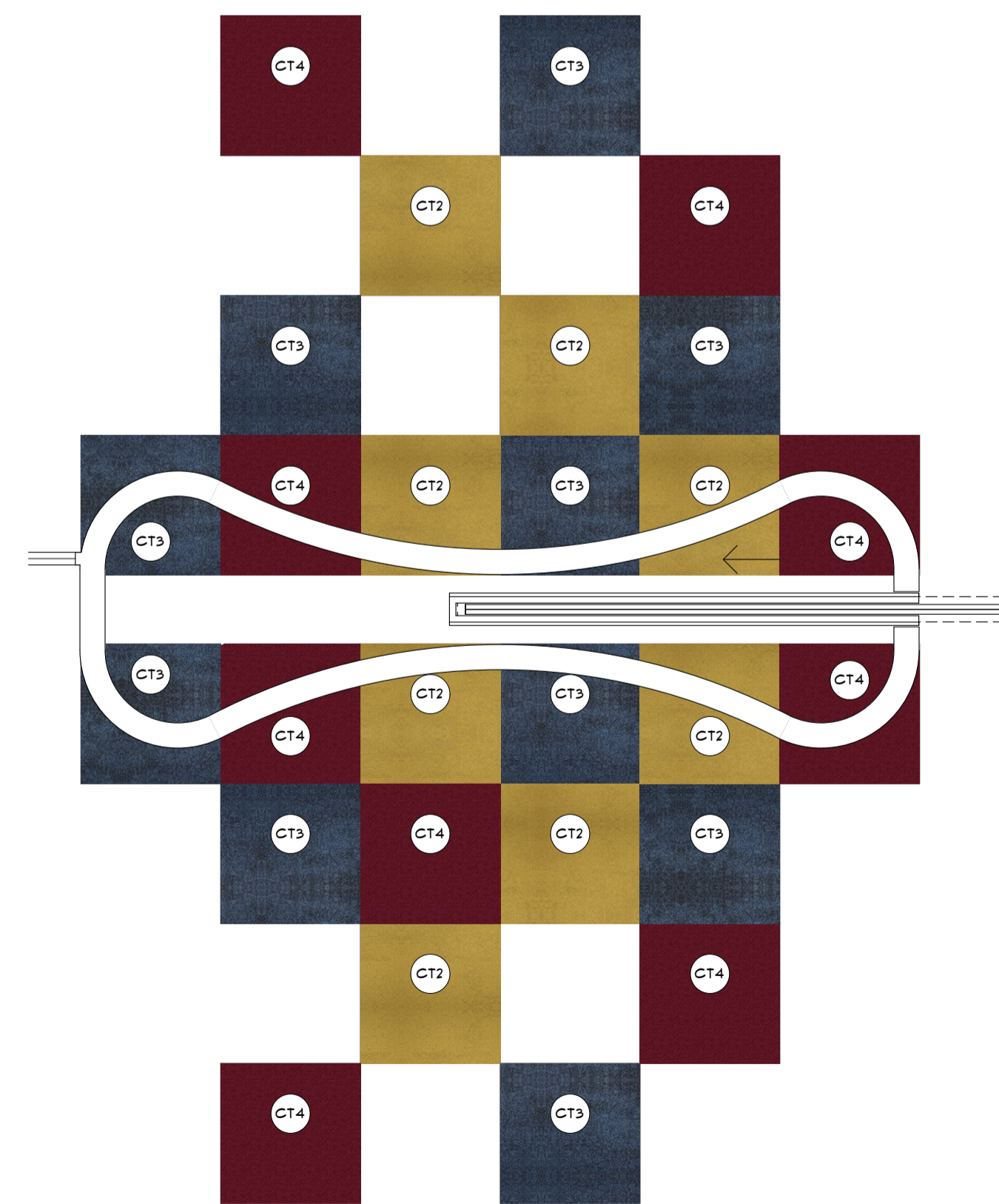


D03 FLOOR FINISHES DETAIL
SCALE 1:20

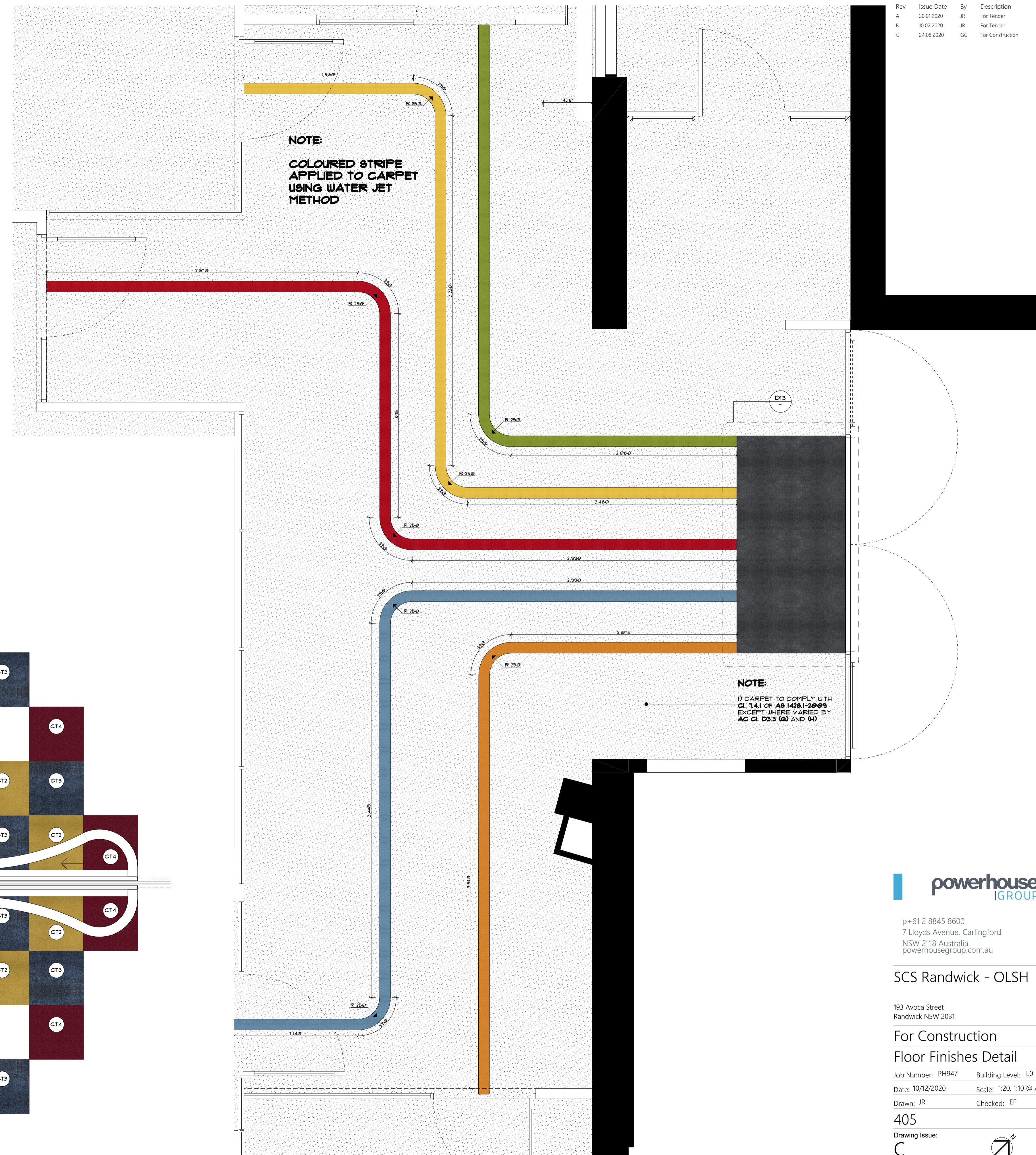
D13 FLOOR FINISHES DETAIL
SCALE 1:10



D10 FLOOR FINISHES DETAIL
SCALE 1:20



D11 FLOOR FINISHES DETAIL
SCALE 1:20



D12 FLOOR FINISHES DETAIL
SCALE 1:20



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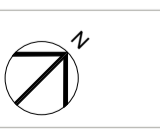
For Construction
Floor Finishes Detail

Job Number: PH947 Building Level: L0
Date: 10/12/2020 Scale: 1:20, 1:10 @ A1
Drawn: JR Checked: EF

405

Drawing Issue:

C



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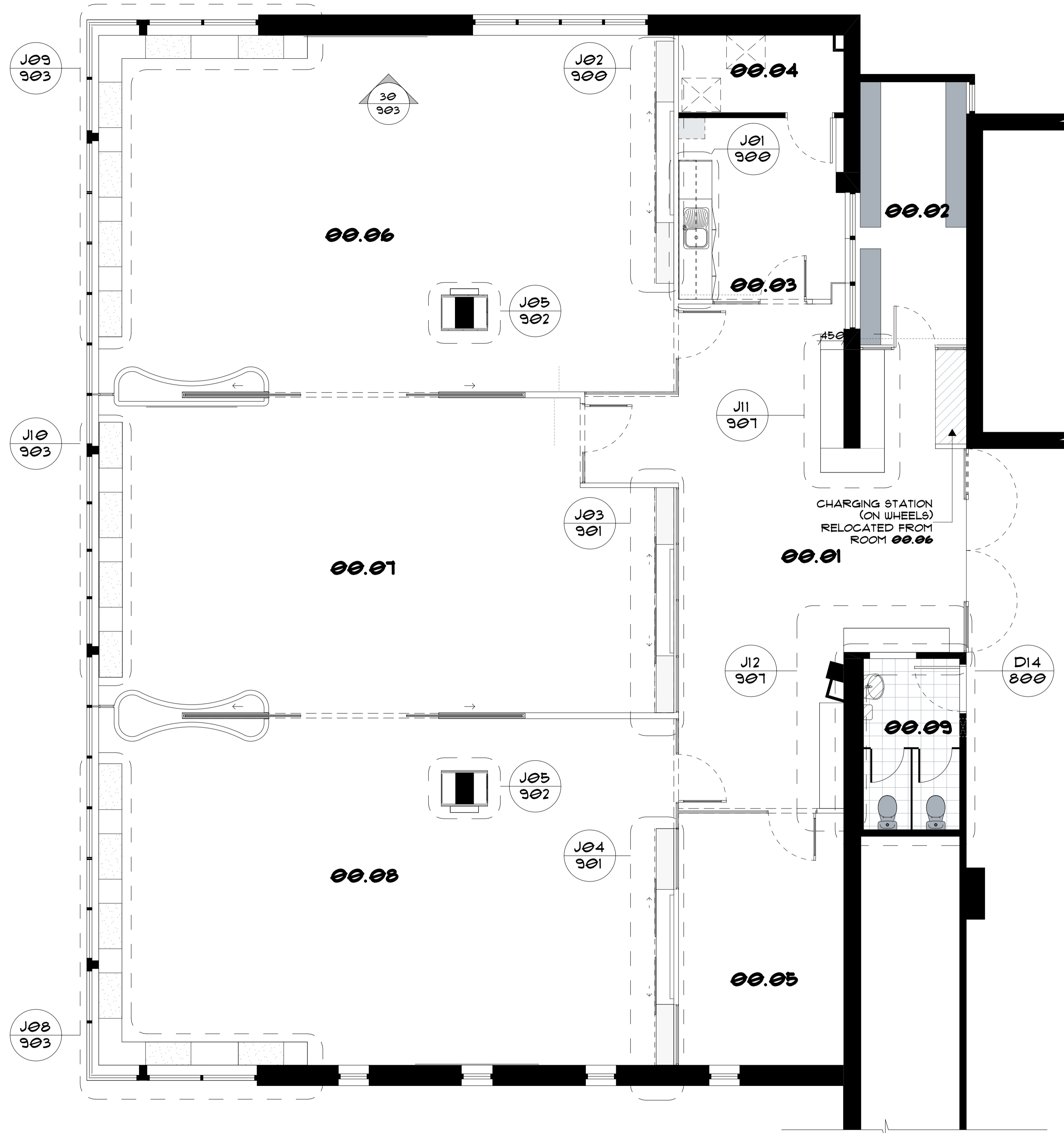
FURNITURE PLAN NOTES

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE FURNITURE SCHEDULE.
2. FURNITURE SUPPLIERS ARE TO UNWRAP ALL FURNITURE AND REMOVE PACKAGING FROM SITE ON DELIVERY. ALLOW TO PLACE FURNITURE AND LEVEL TABLES.
3. WORKSTATION SUPPLIER TO LIAISE WITH ELECTRICIAN FOR LOCATION OF SERVICES FOR WORKSTATIONS.
4. FURNITURE AND WORKSTATION SUPPLIERS TO CHECK ALL CRITICAL MEASUREMENTS ON SITE PRIOR TO MANUFACTURE.

FURNITURE PLAN LEGEND

- EXISTING ITEMS IN EXISTING LOCATION, UNALTERED
- NEW ITEMS
- RELOCATED ITEMS

CLIENT TO CONFIRM HEIGHT OF ALL SMART BOARDS ON SITE



Rev	Issue Date	By	Description
A	20.01.2020	JR	For Tender
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Furniture Plan

Job Number: PH947 Building Level: L0

Date: 10/12/2020 Scale: 1:50 @ A1

Drawn: JR Checked: EF

500

Drawing Issue:

D



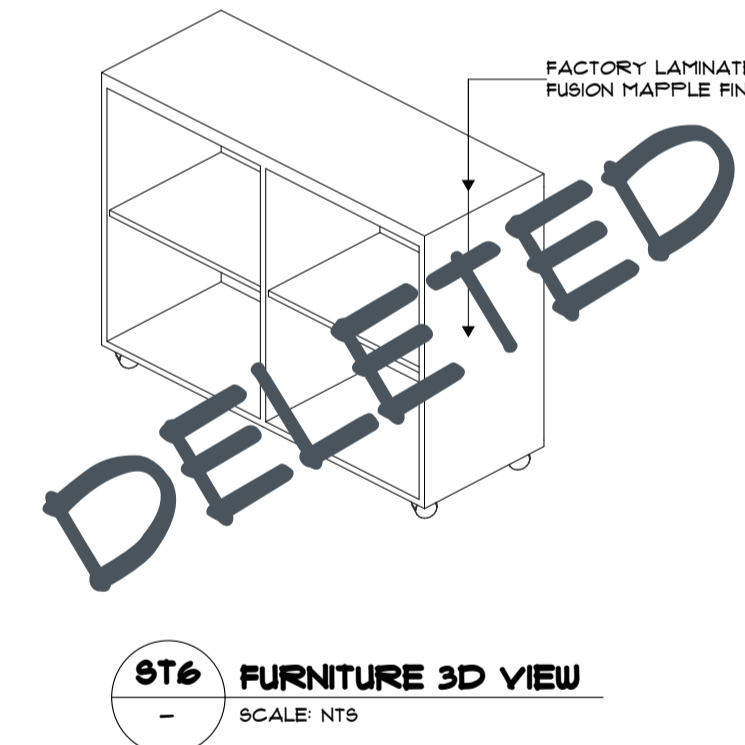
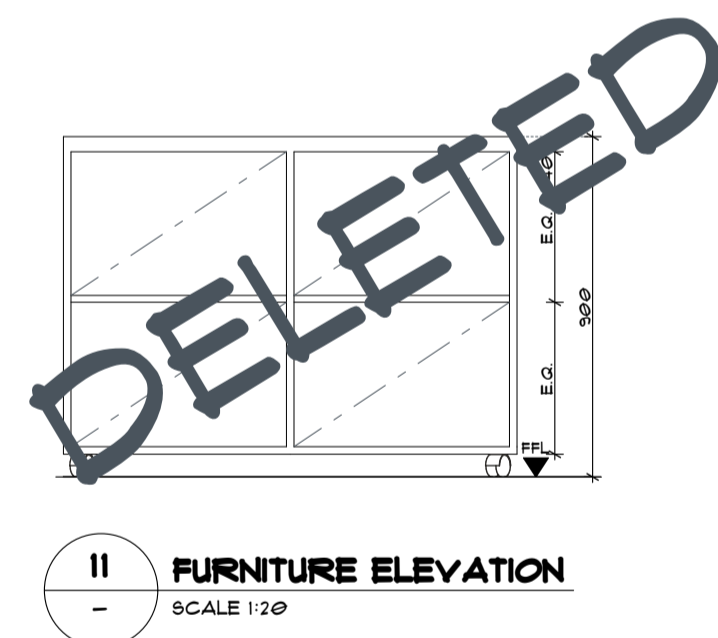
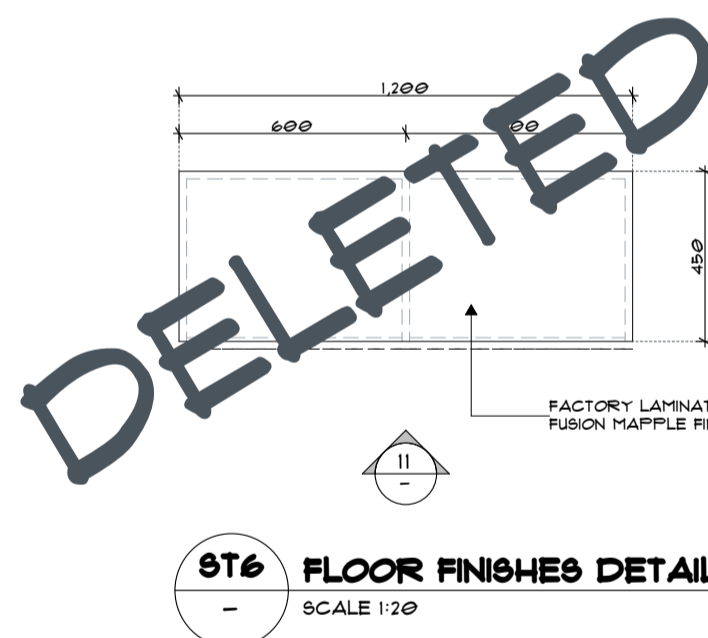
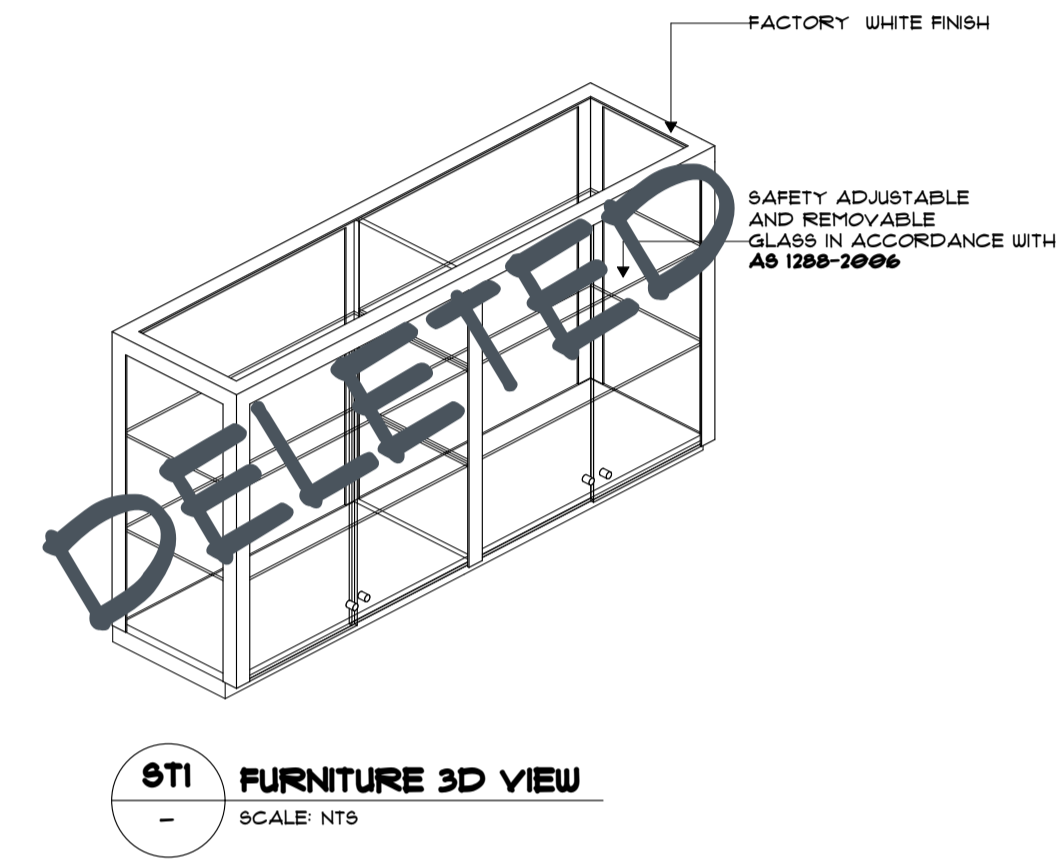
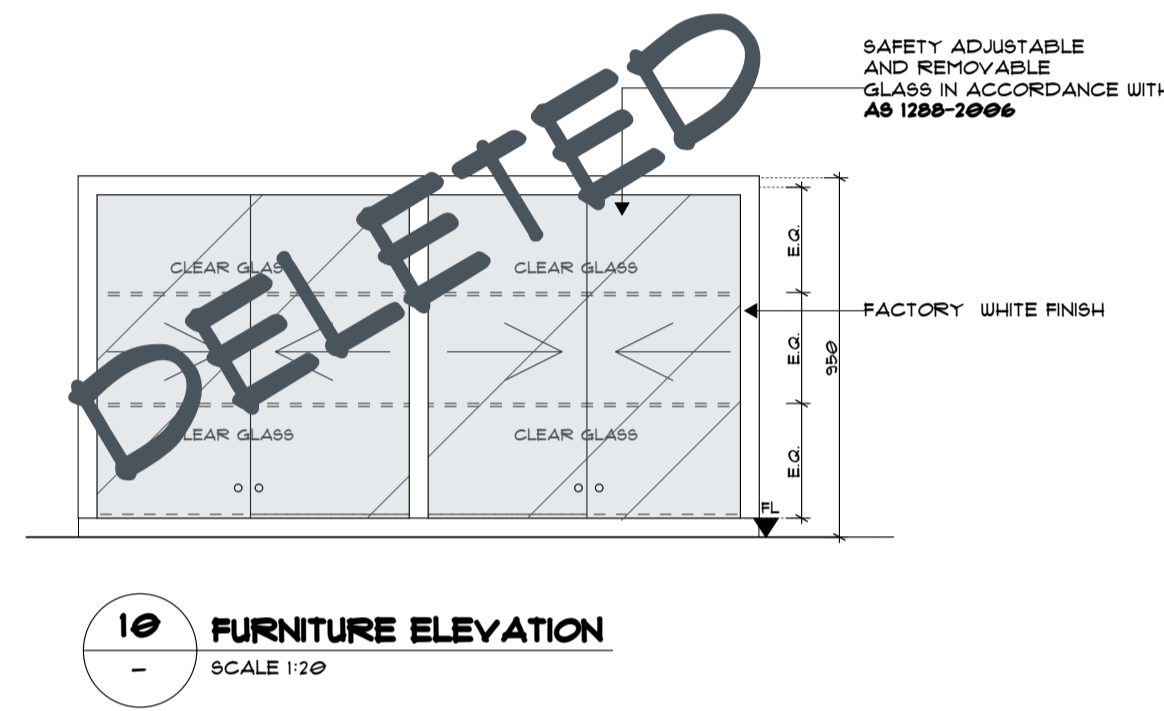
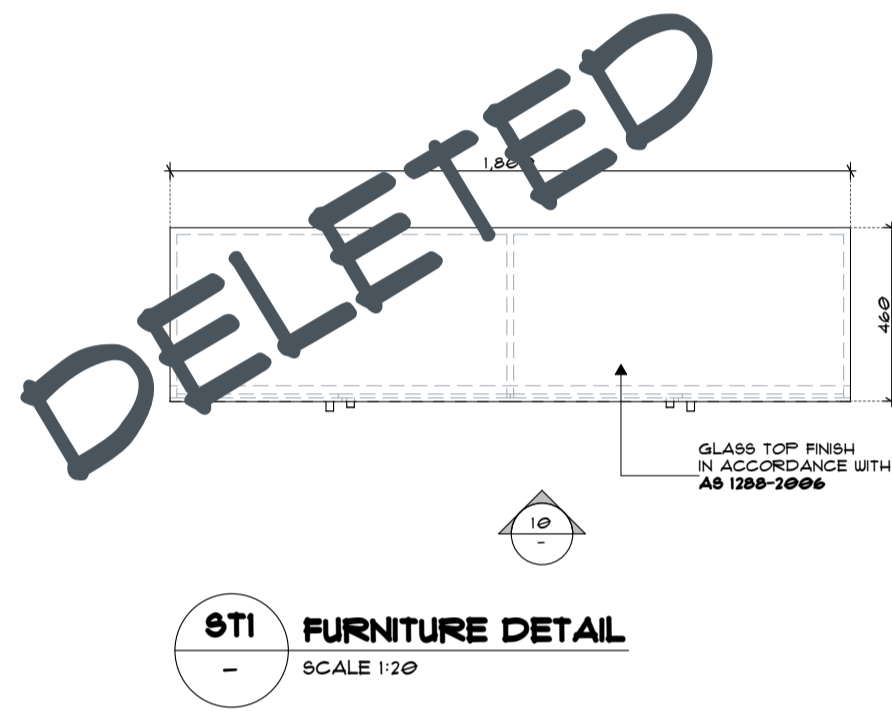
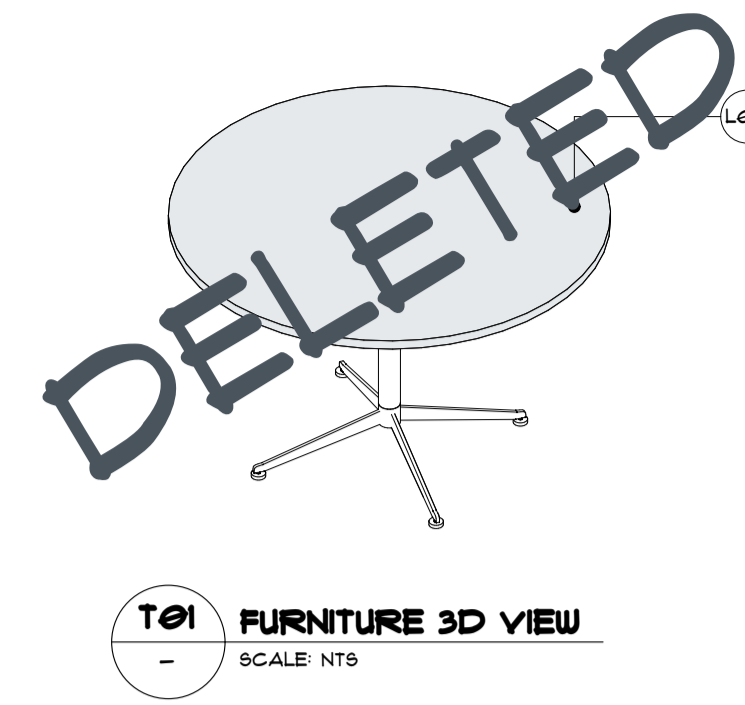
FURNITURE NOTES

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE FURNITURE SCHEDULE.
2. FURNITURE SUPPLIERS ARE TO UNWRAP ALL FURNITURE AND REMOVE PACKAGING FROM SITE ON DELIVERY. ALLOW TO PLACE FURNITURE AND LEVEL TABLES.
3. WORKSTATION SUPPLIER TO LIAISE WITH ELECTRICIAN FOR LOCATION OF SERVICES FOR WORKSTATIONS.
4. FURNITURE AND WORKSTATION SUPPLIERS TO CHECK ALL CRITICAL MEASUREMENTS ON SITE PRIOR TO MANUFACTURE.

FURNITURE LEGEND

○ SURFACE FINISH

Rev	Issue Date	By	Description
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C	24.08.2020	GG	For Construction
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For Construction

Furniture Details

Job Number: PH947 Building Level: L0

Date: 10/12/2020 Scale: 1:20 @ A1

Drawn: JR Checked: EF

501

Drawing Issue:

D



SERVICES NOTES

1. THE SCOPE OF WORKS INCLUDES THE SUPPLY, INSTALLATION, TESTING AND COMMISSIONING OF ELECTRICAL AND DATA INSTALLATIONS.
2. THE SCOPE ALSO INCLUDES DEFECTS LIABILITY SERVICE OF MATERIALS, LABOR AND EQUIPMENT.
3. ALL INSTALLATION WORK TO BE ACCOMPANIED BY A 12 MONTH WARRANTY FROM THE DATE OF PRACTICAL COMPLETION.
4. ALL MATERIALS TO BE INSTALLED TO MANUFACTURERS INSTRUCTIONS.
5. PROVIDE AS BUILT DRAWINGS AND COPIES OF WRITTEN TEST RESULTS ON COMPLETION OF THE FIT OUT.
6. ELECTRICAL DRAWINGS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
7. WALL MOUNTED SERVICES TO BE MOUNTED AT 250MM TO CENTER LINE OF FACE PLATE ABOVE FFL UNLESS OTHERWISE SPECIFIED.
8. JONERY MOUNTED SERVICES TO BE MOUNTED AT HEIGHTS INDICATED ON DRAWINGS. ALL FACE PLATES TO BE WHITE UNLESS OTHERWISE NOTED.
9. ALL SWITCHES, SOCKETS, DATA/VOICE OUTLETS AND CIRCUIT BREAKERS TO BE LABELED INDICATING FUNCTION. WHITE/BLACK/WHITE LABELS GENERALLY AND WHITE/RED/WHITE FOR DEDICATED POWER.
10. ALL VOICE/DATA CABLES TO BE LABELED AT BOTH ENDS.

SERVICES PLAN LEGEND

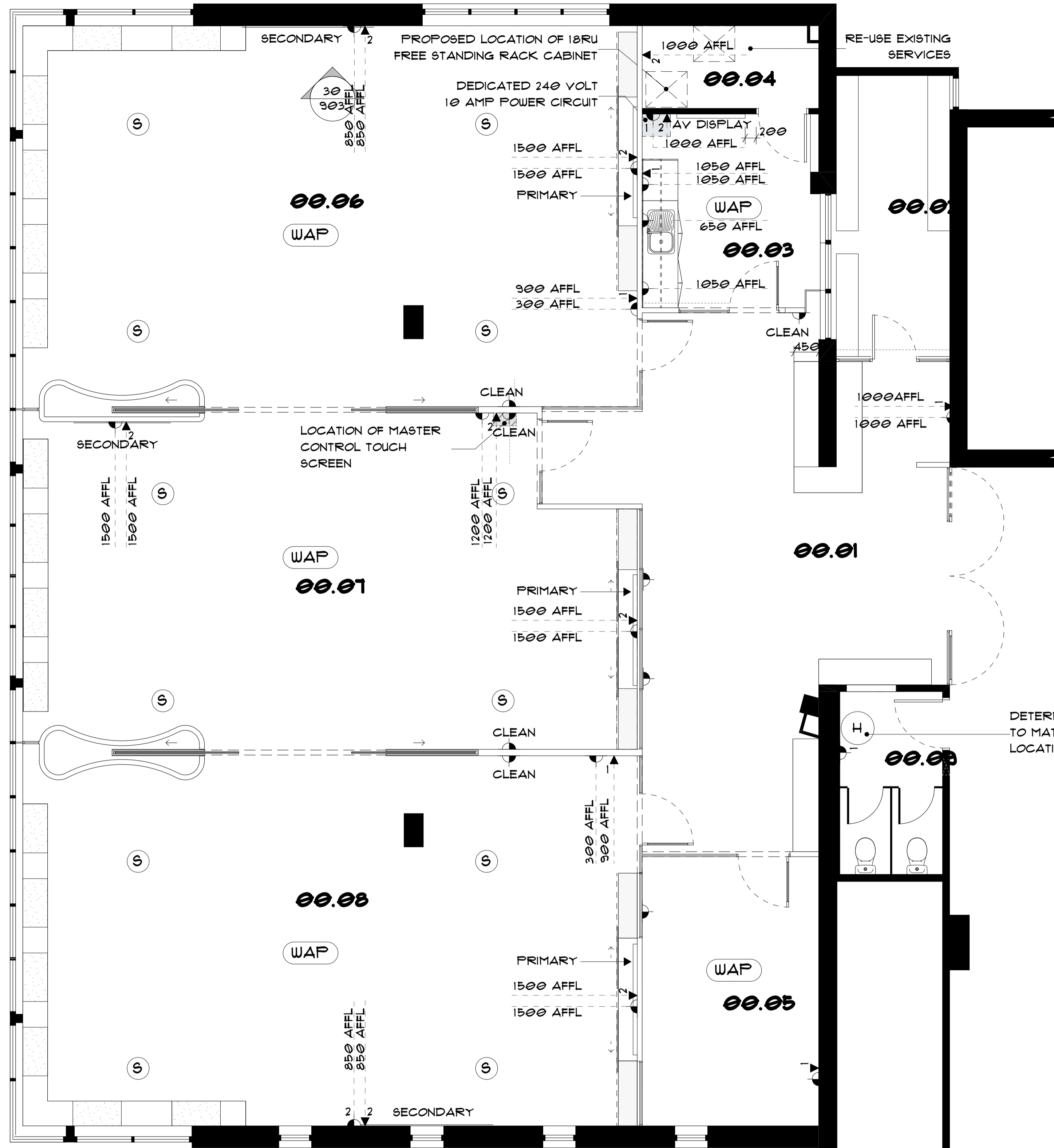
- # DGPO - DOUBLE GENERAL PURPOSE OUTLET. # INDICATES QTY OF OUTLETS REQUIRED.
- # RJ45 OUTLET, DATA OR PHONE. # INDICATES THE NUMBER OF DATA POINTS REQUIRED.
- CLEAN SEPARATE CIRCUIT FOR CLEANING GPO
- ⊙ CEILING MOUNTED SPEAKER
- WAP WIRELESS ACCESS POINT

NOTE:

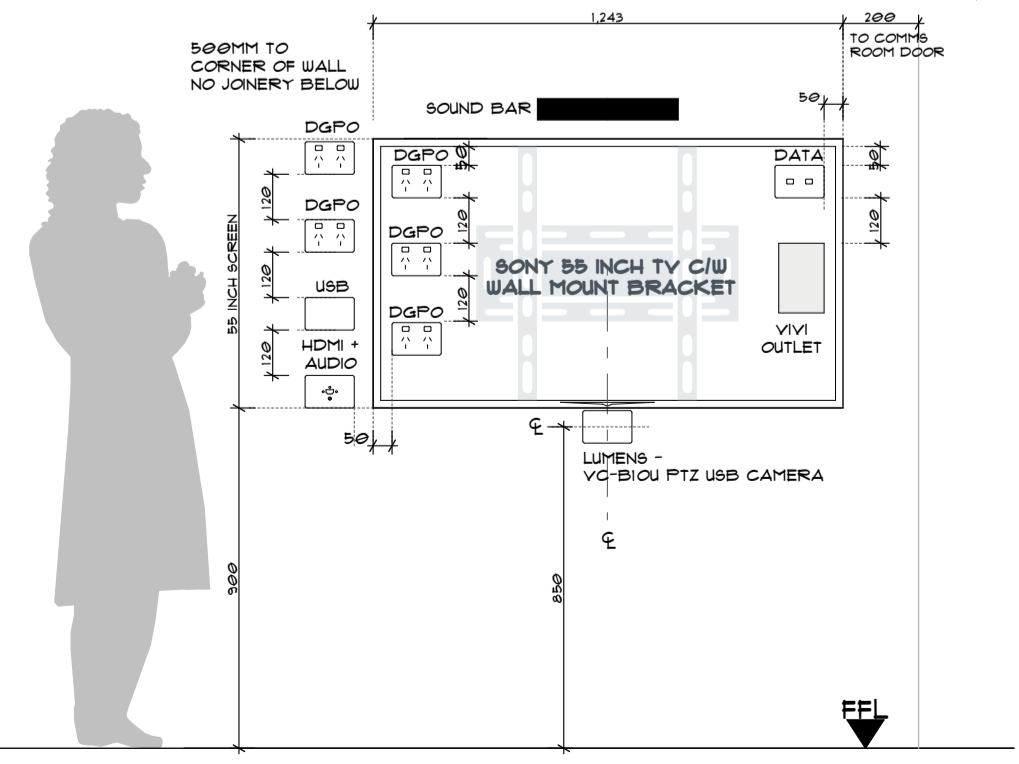
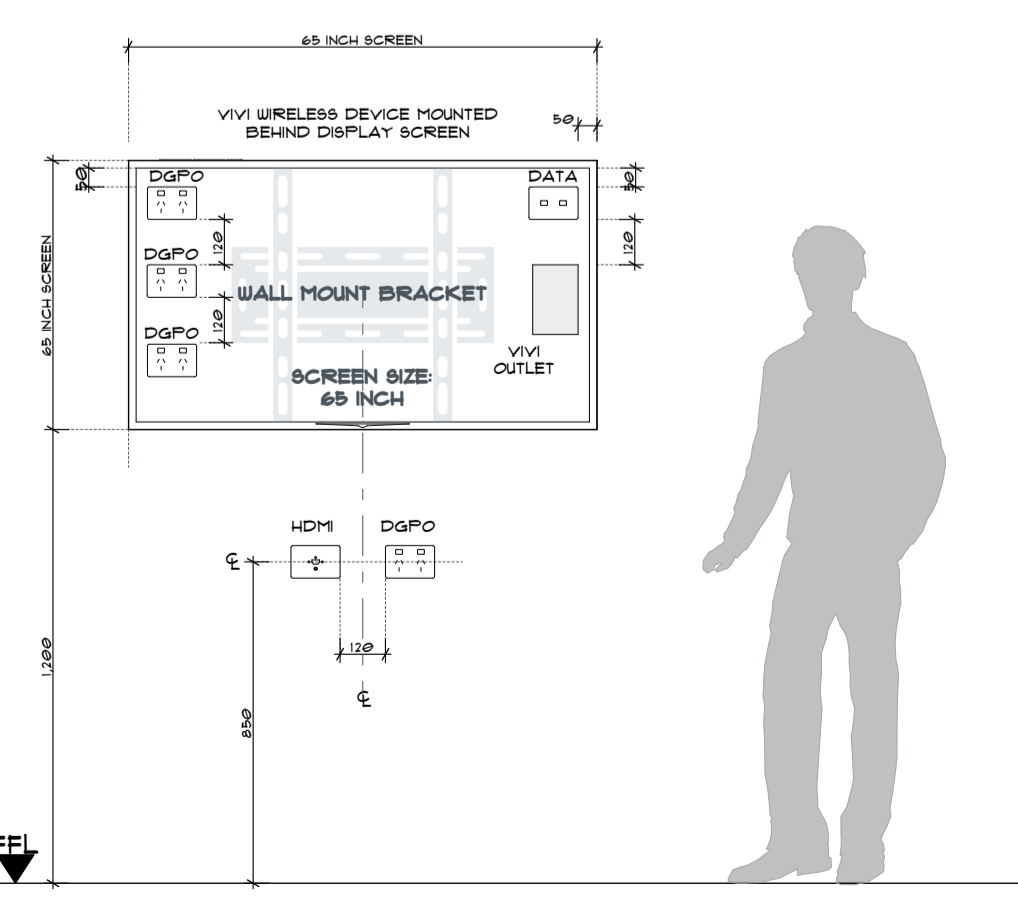
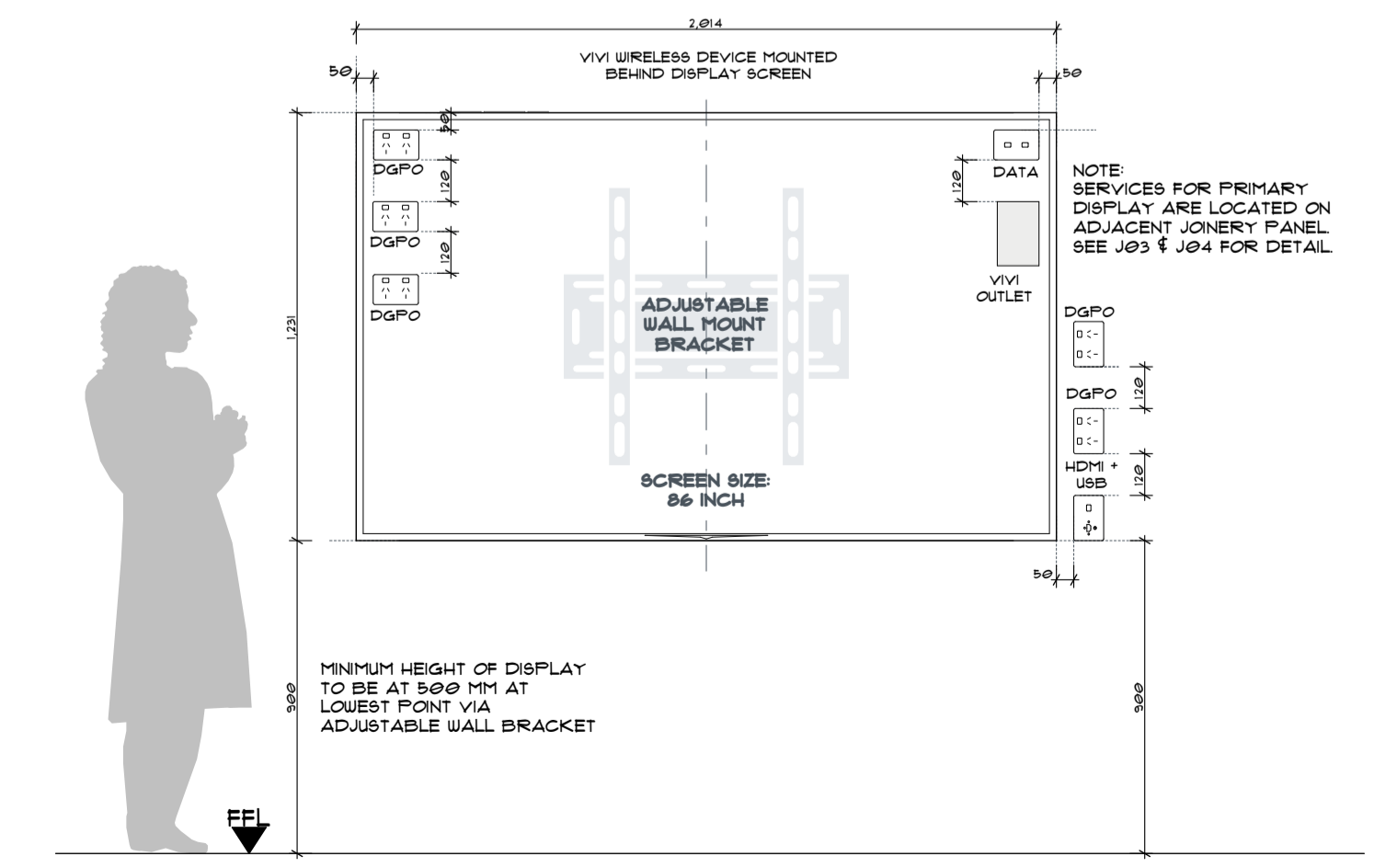
CLIENT TO CONFIRM HEIGHT OF ALL SMART BOARDS ON SITE

RETAIN PA FEEDS AND SPEAKERS

12 X Q8C-AC-C6T - RECESSED CEILING LOUDSPEAKER - 4 PER CLASSROOM (00.06, 00.01 AND 00.03) TO BE DISTRIBUTED EVENLY FOR AUDIO COVERAGE FROM INPUTS CONNECTED TO THE PRIMARY DISPLAY ONLY



DETERMINE ON SITE TO MATCH HEIGHT OF EXISTING LOCATION



Rev	Issue Date	By	Description
A	20.01.2020	JR	For Tender
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C	20.03.200	JR	For Tender
D	24.08.2020	GG	For Construction
E	09.11.2020	GG	For Construction
F	19.11.2020	GG	For Construction



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Services Plan

Job Number: PH947 Building Level: L0
Date: 10/12/2020 Scale: 1:50, 1:20 @ A1
Drawn: JR Checked: EF

600

Drawing Issue:

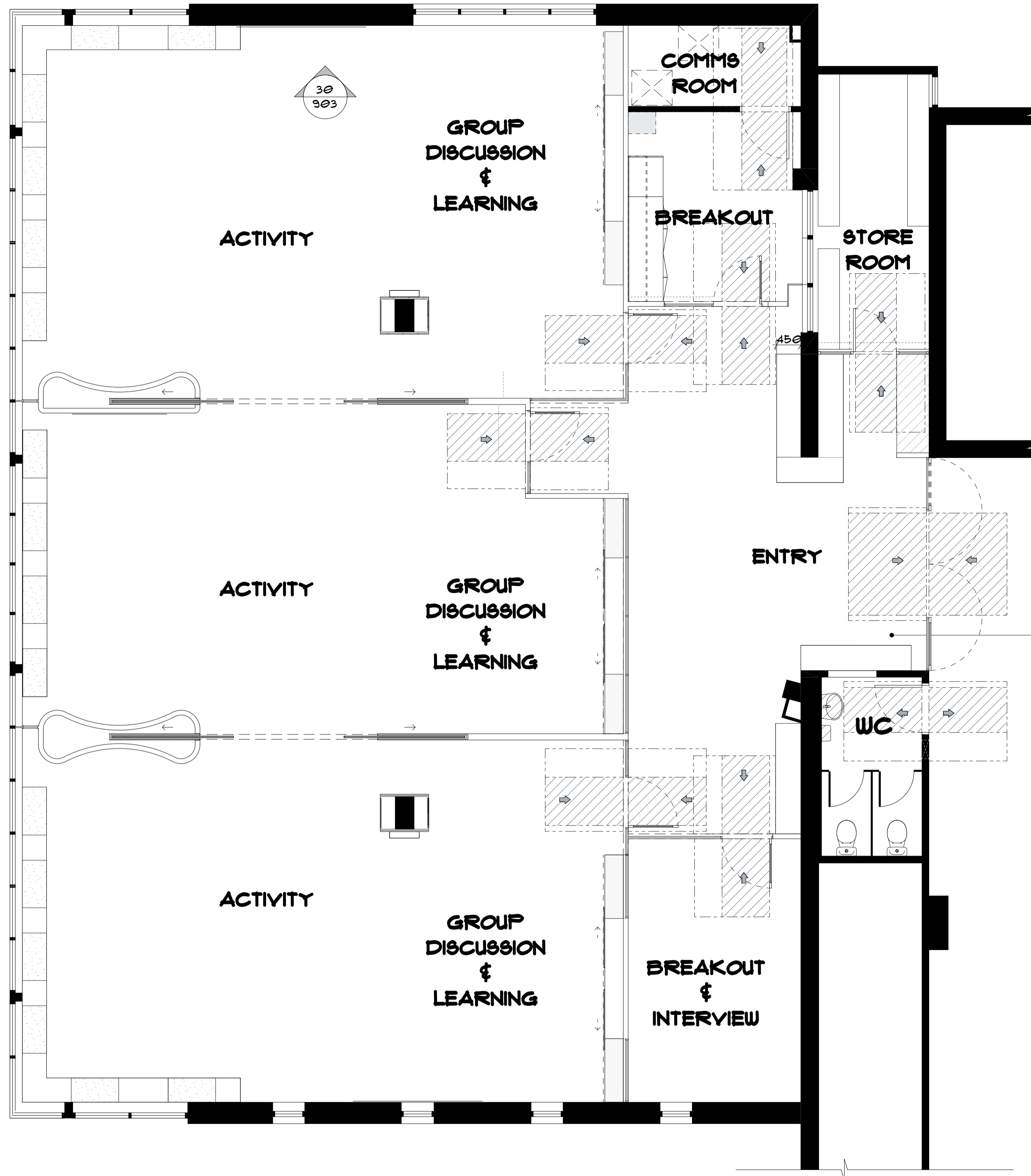
F

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TENANCY ANALYSIS

BREAKOUT ROOM	01
BRAKOUT & INTERVIEW	01
COMMS ROOM	01
CLASSROOMS	03
<hr/>	
TOTAL PERSONNEL	114.00
TENANCY AREA M2	230.30
TENANCY DENSITY	1.3

Rev	Issue Date	By	Description
A	20.01.2020	JR	For Tender
B	10.02.2020	JR	For Tender
C	24.08.2020	GG	For Construction



NOTE:

1) CARPET TO COMPLY WITH Cl. 1.4.1 OF AS 1428.1-2009 EXCEPT WHERE VARIED BY AC Cl. D3.3 (g) AND (h)

2) BRAILLE AND TACTILE SIGN TO BE PROVIDED TO THE EXIT DOOR PER BCA CLAUSE D3.6



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Compliance Plan

Job Number: PH947 Building Level: L0

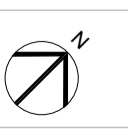
Date: 10/12/2020 Scale: 1:50 @ A1

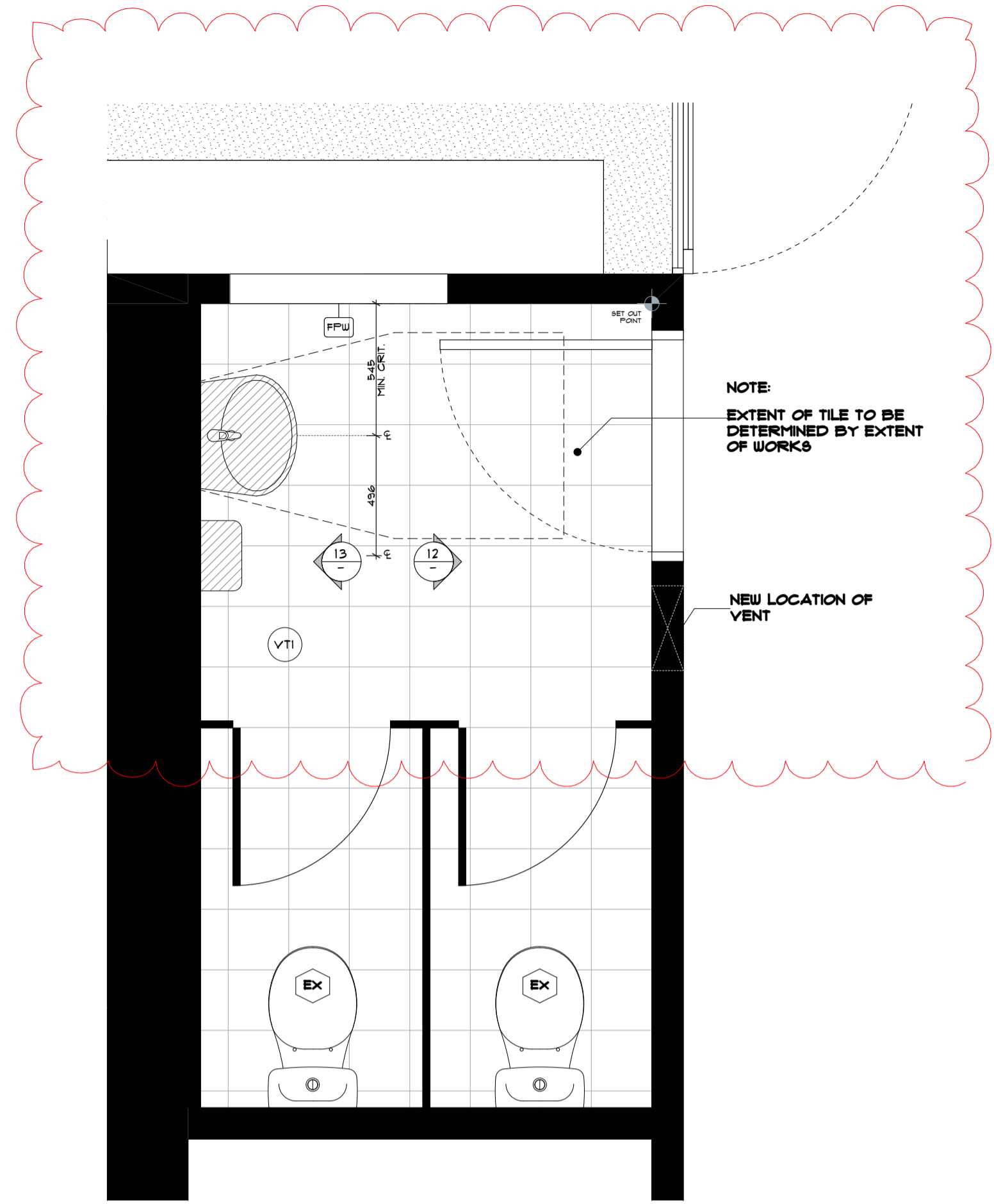
Drawn: JR Checked: EF

700

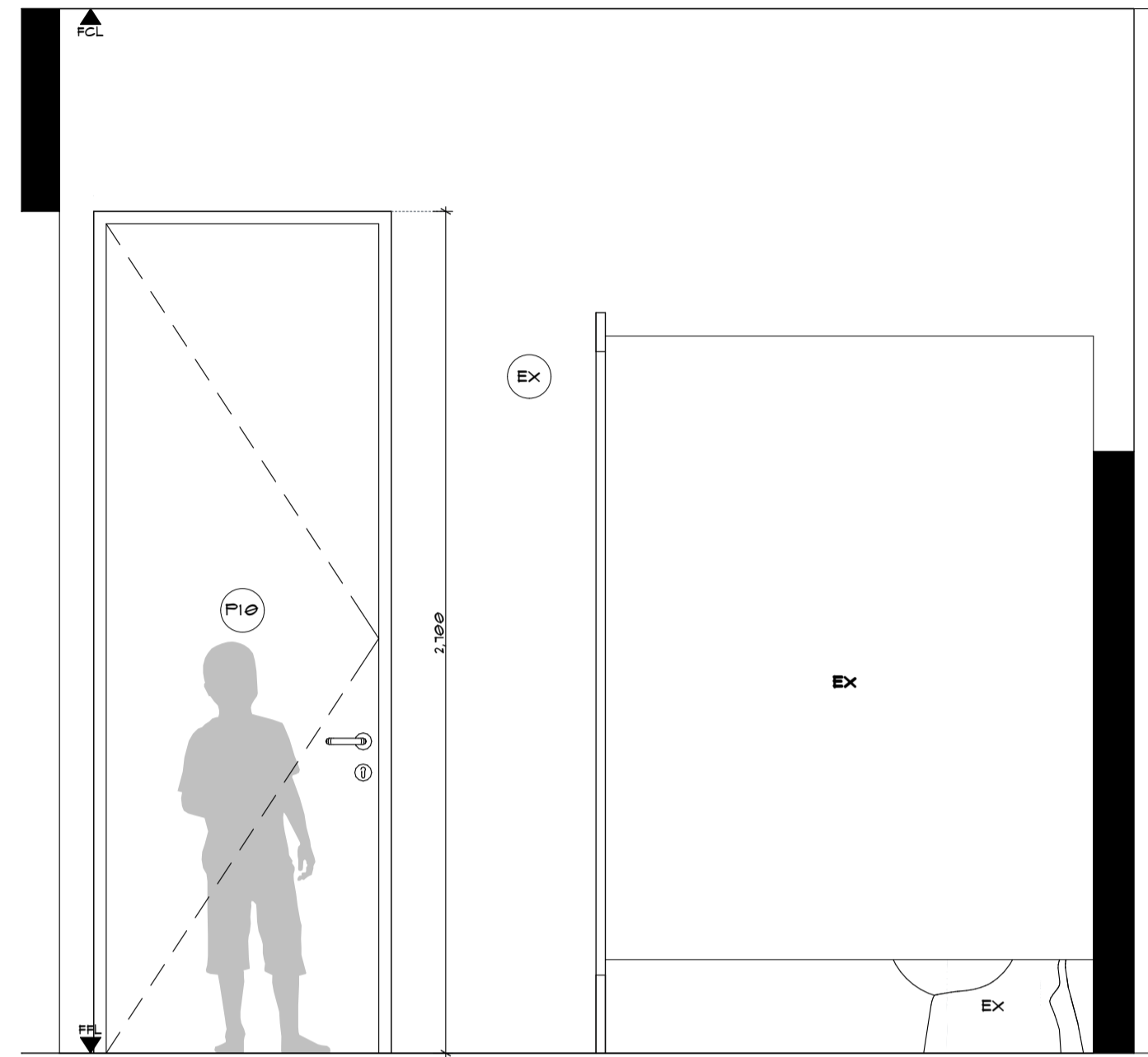
Drawing Issue:

C

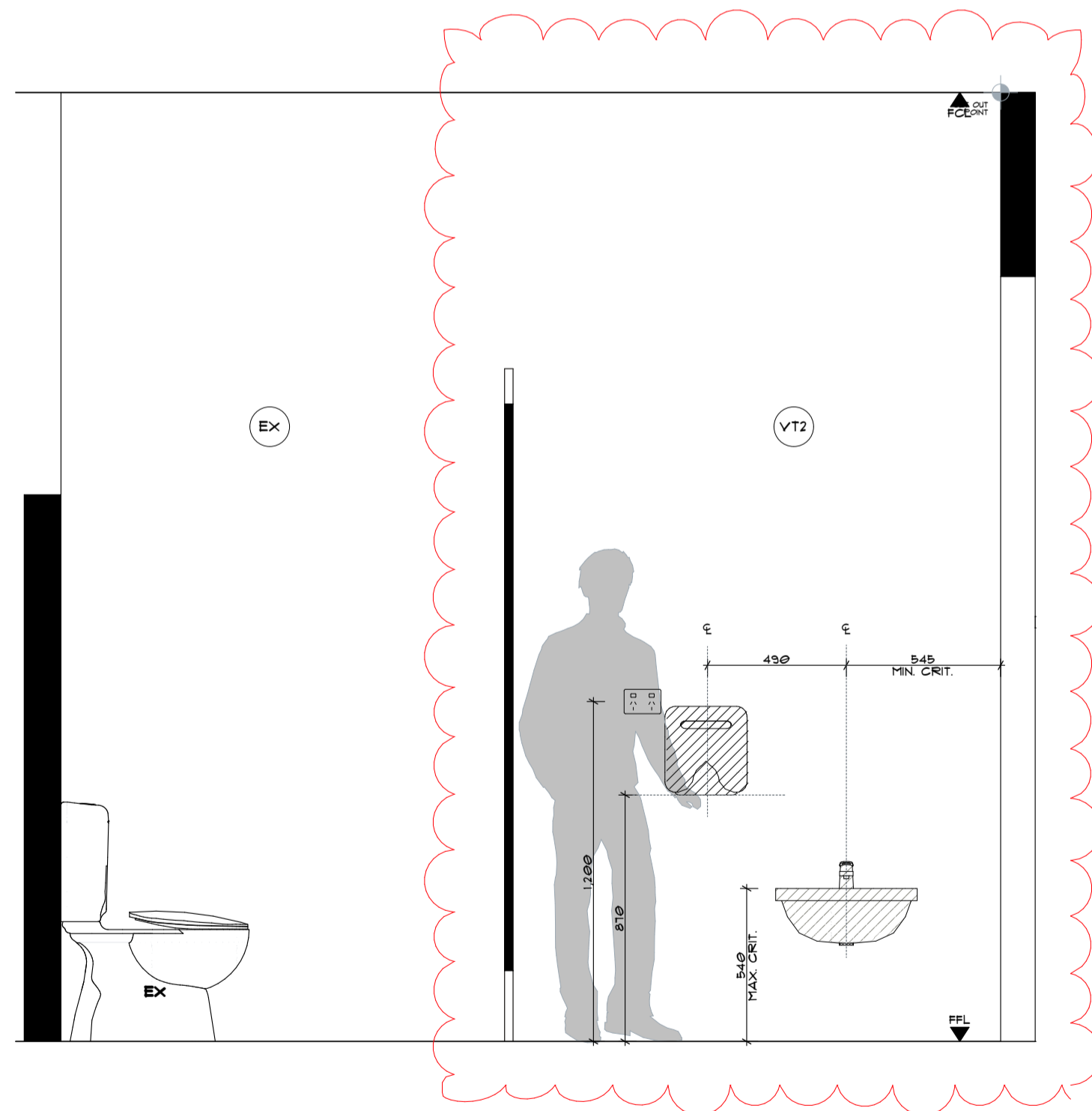




D14 TOILET PLAN
SCALE 1:20



12 TOILET ELEVATION
SCALE 1:20



13 TOILET ELEVATION
SCALE 1:20

BATHROOM NOTES

1. ALL BATHROOM DRAWINGS TO BE READ IN CONJUNCTION WITH THE FIXTURES AND FITTINGS SCHEDULE.
2. ALL FIXTURES TO BE POSITIONED AS DIMENSIONED.
3. "CRIT" INDICATES A CRITICAL DIMENSION AND SHOULD BE COMPLIED WITH. IF CRITICAL DIMENSION CANNOT BE ACHIEVED, CONSULT DESIGNER.
4. ALL FIXTURES AND FITTINGS ARE TO BE INSTALLED IN ACCORDANCE WITH AUSTRALIAN STANDARD DESIGN FOR ACCESS AND MOBILITY AS1428.1-2009.

BATHROOM LEGEND

- RELOCATED ITEMS
- SURFACE FINISH
- ITEM SPECIFIED IN FIXTURES AND FITTINGS SCHEDULE
- CRIT CRITICAL DIMENSION

Rev	Issue Date	By	Description
A	20.01.2020	JR	For Tender
B	10.02.2020	JR	For Tender
C	24.08.2020	GG	For Construction
D	19.11.2020	GG	For Construction



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Detail Drawings

Job Number: PH947 Building Level: L0

Date: 10/12/2020 Scale: 1:20 @ A1

Drawn: JR Checked: EF

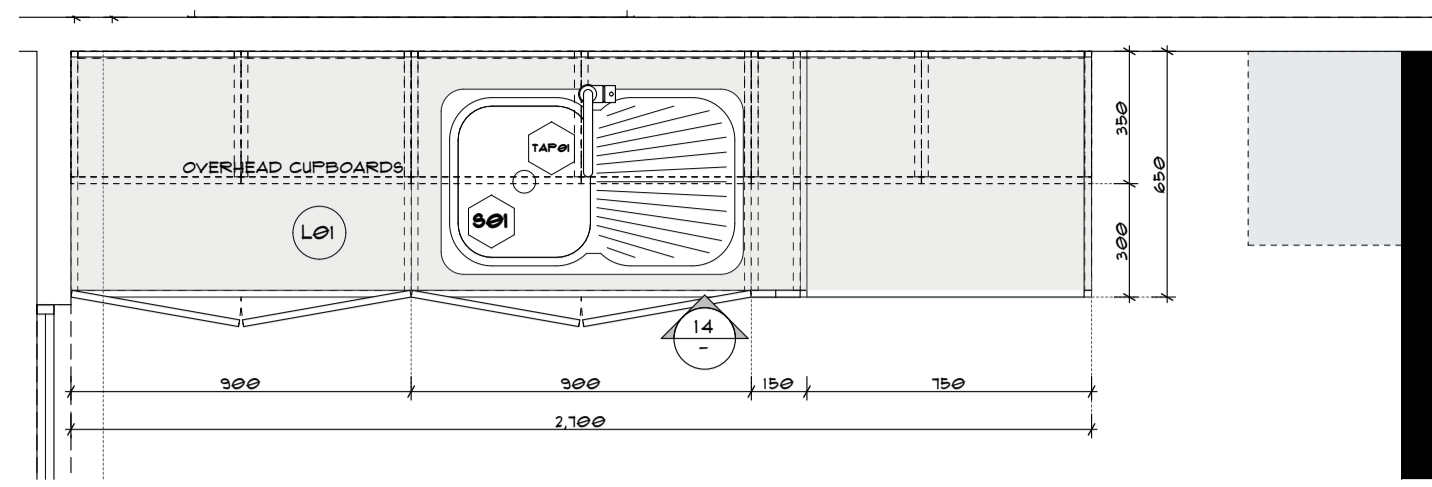
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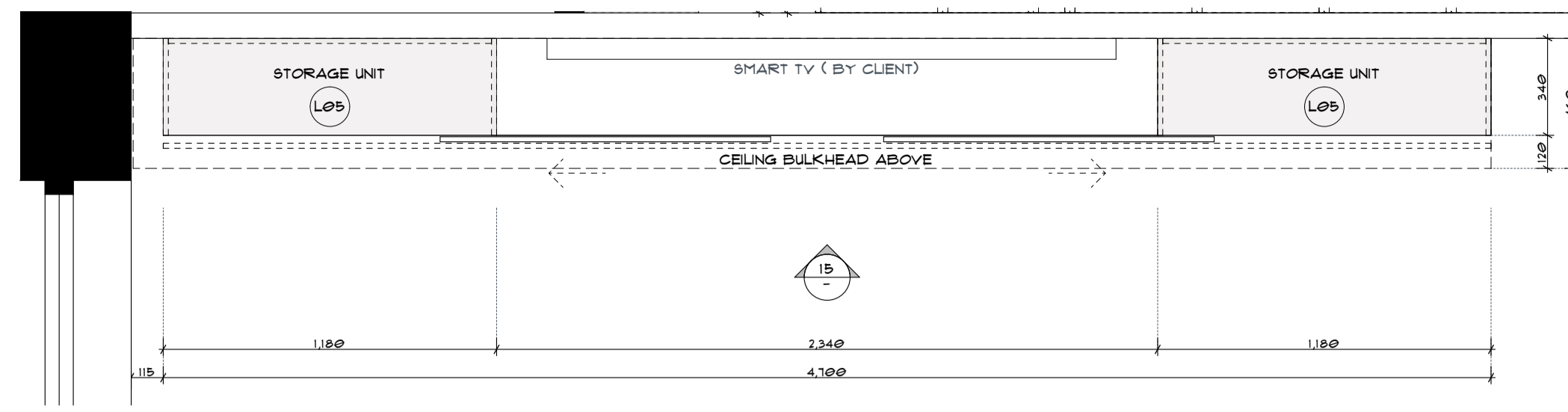
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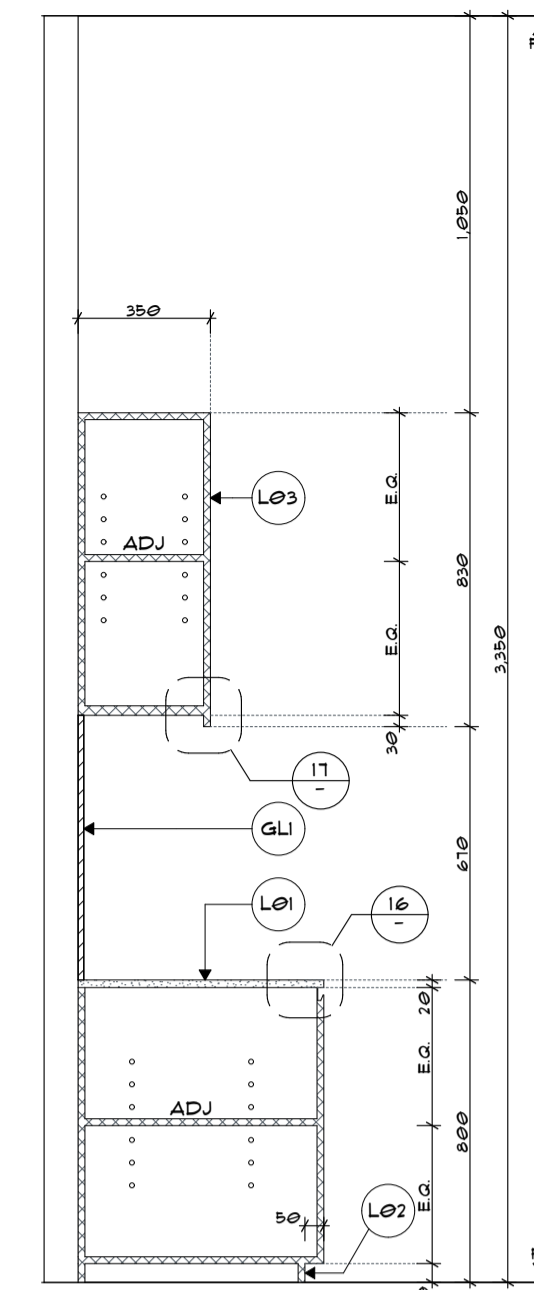
Rev	Issue Date	By	Description
A	20.01.2020	JR	For Tender
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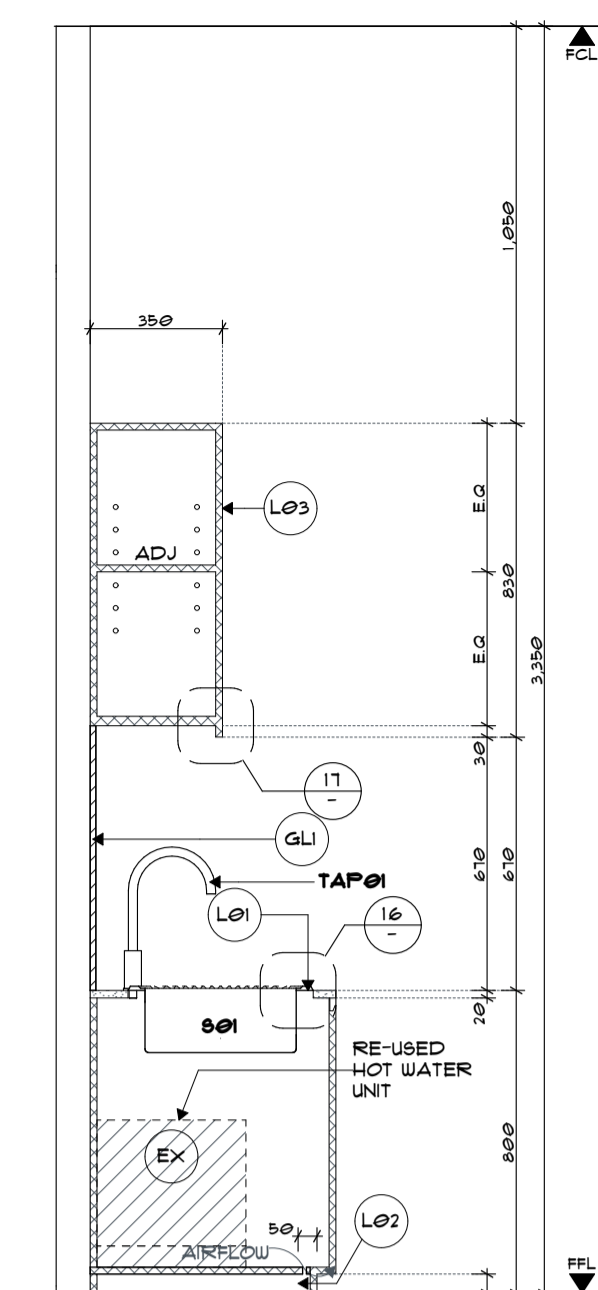
J01 BREAKOUT PLAN
SCALE 1:20



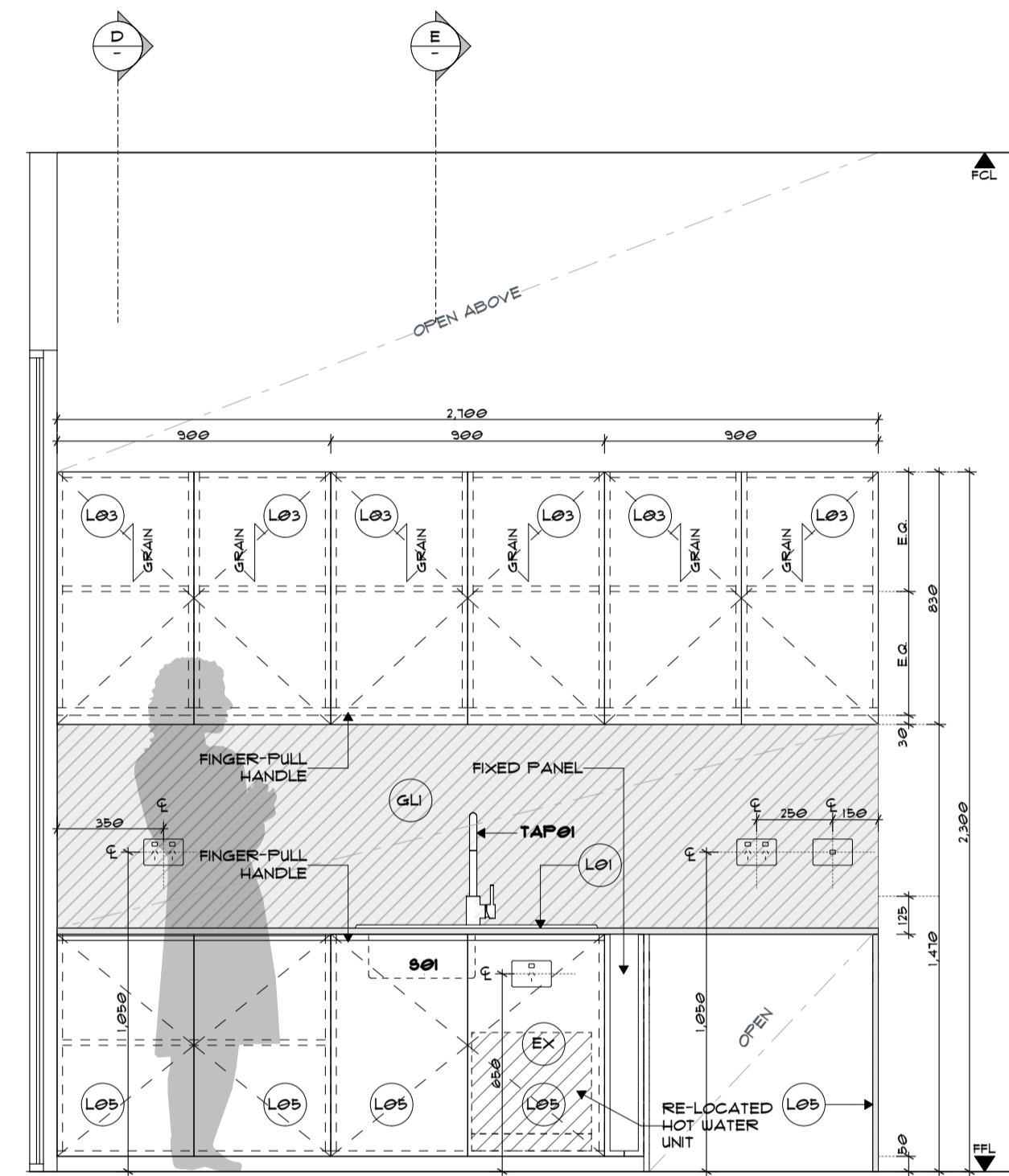
J02 JOINERY PLAN
SCALE 1:20



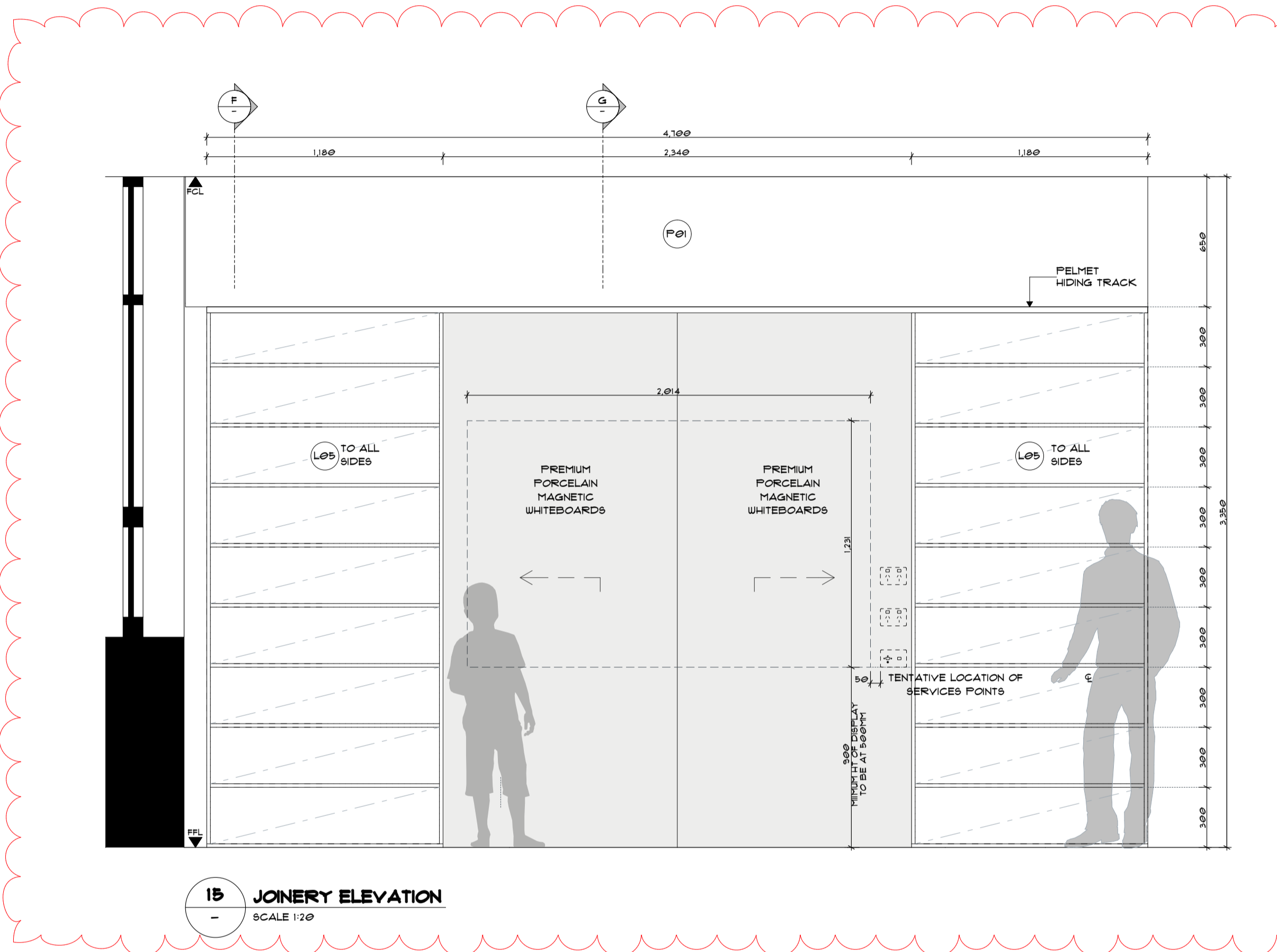
D JOINERY SECTION
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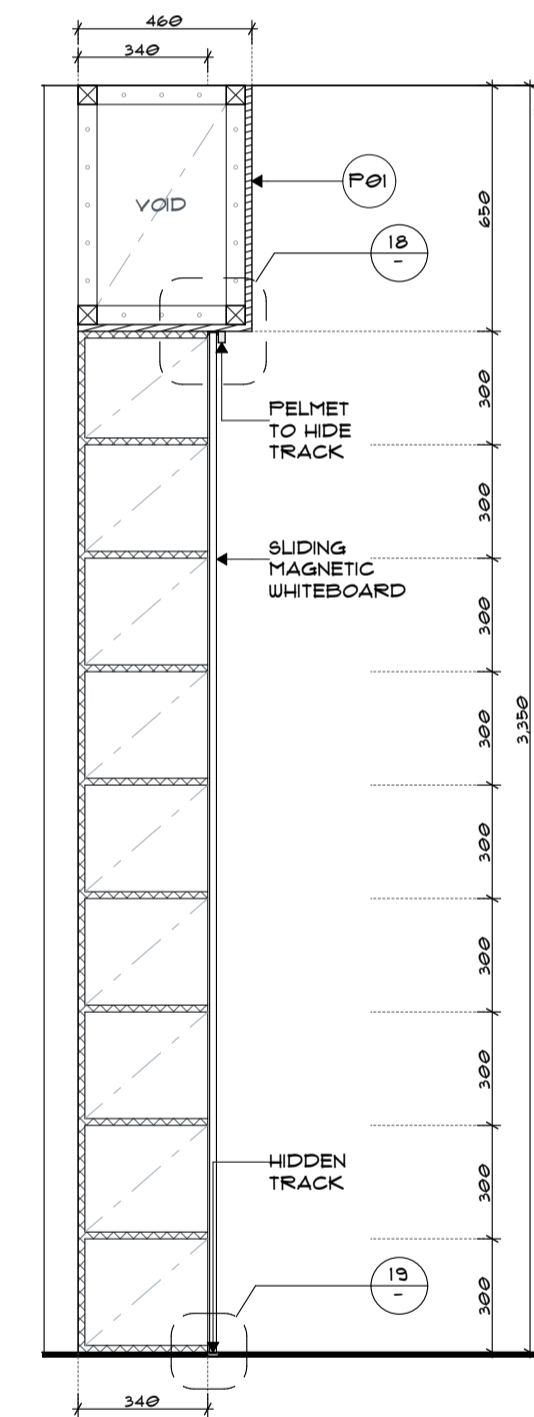
E JOINERY SECTION
SCALE 1:20



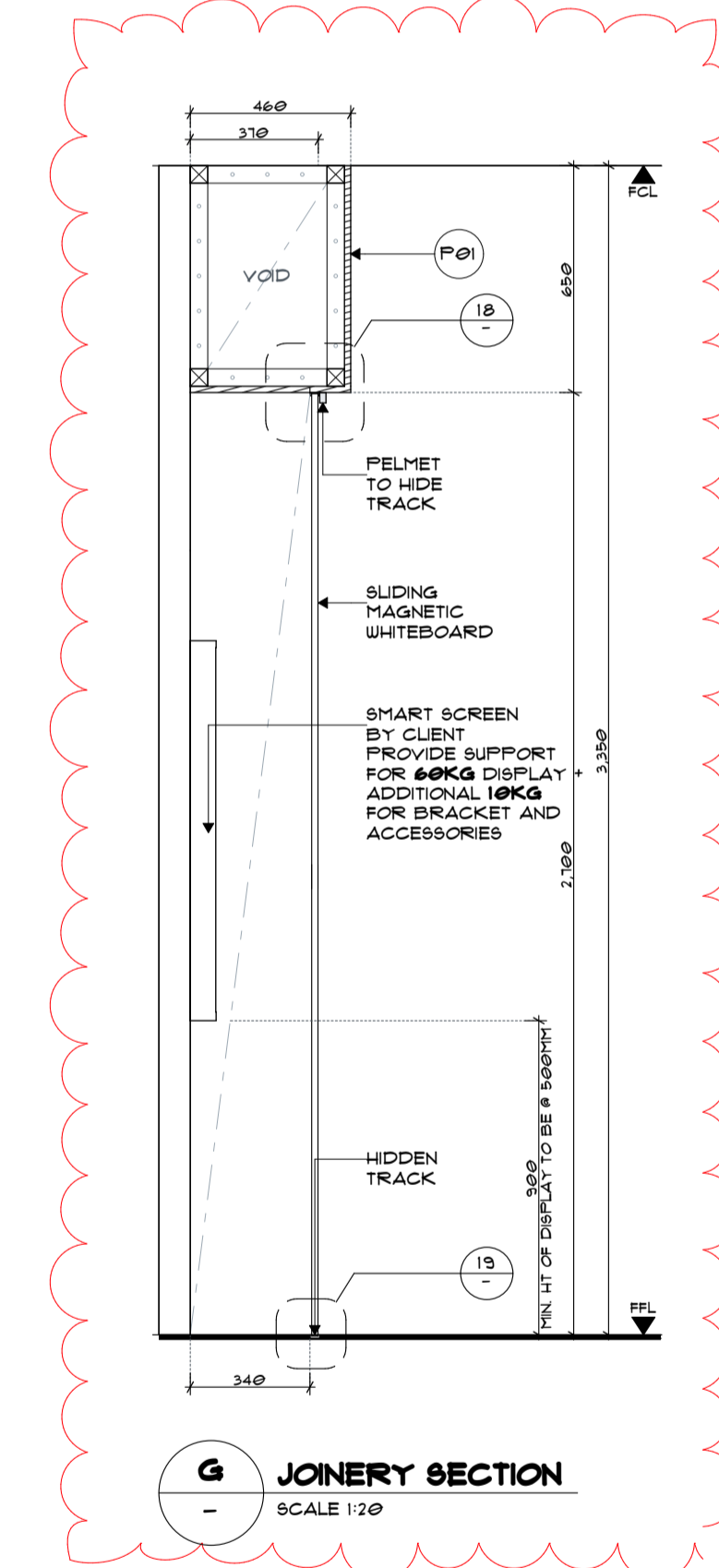
14 BREAKOUT ELEVATION
SCALE 1:20



15 JOINERY ELEVATION
SCALE 1:20



F JOINERY SECTION
SCALE 1:20

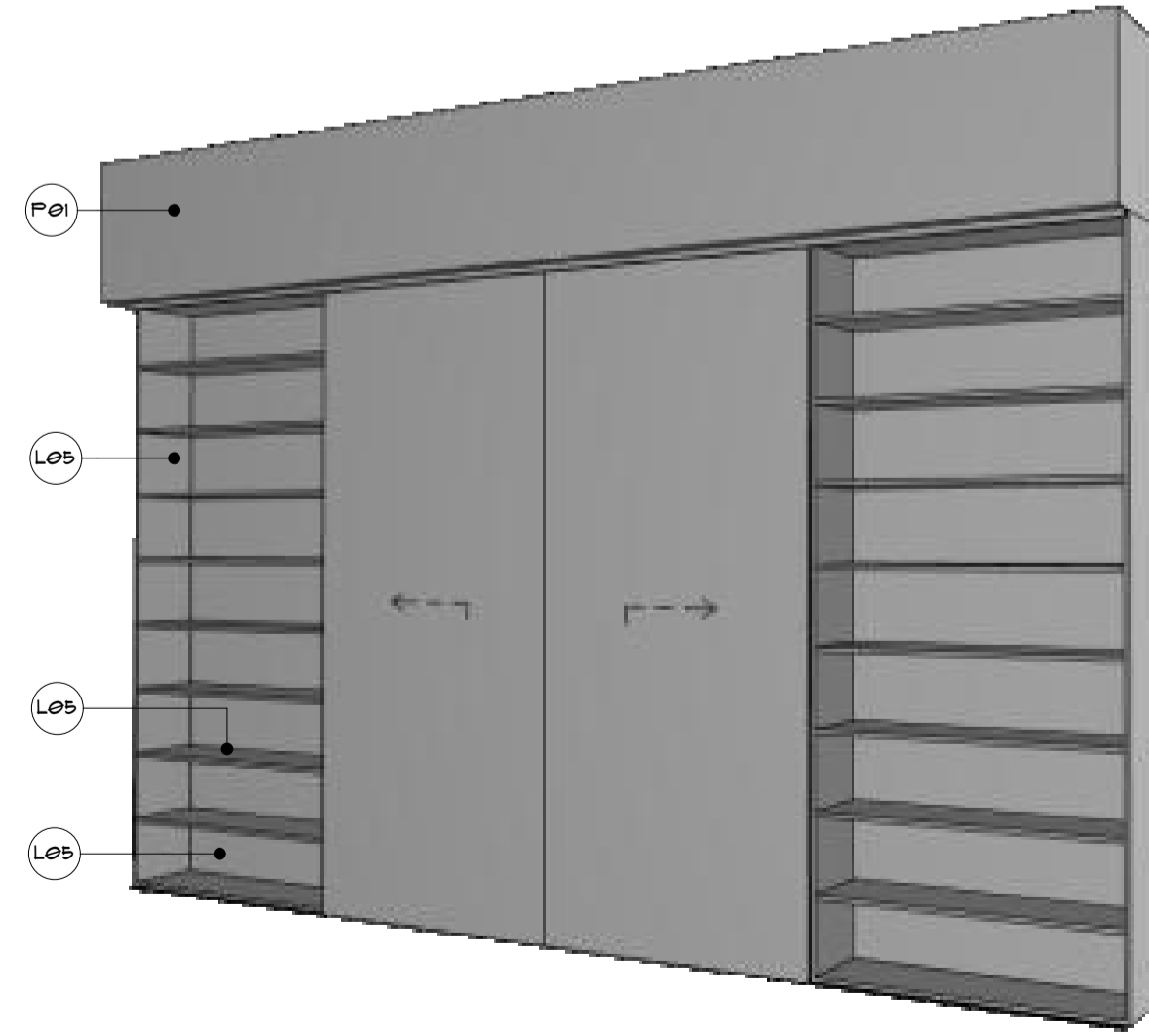


G JOINERY SECTION
SCALE 1:20

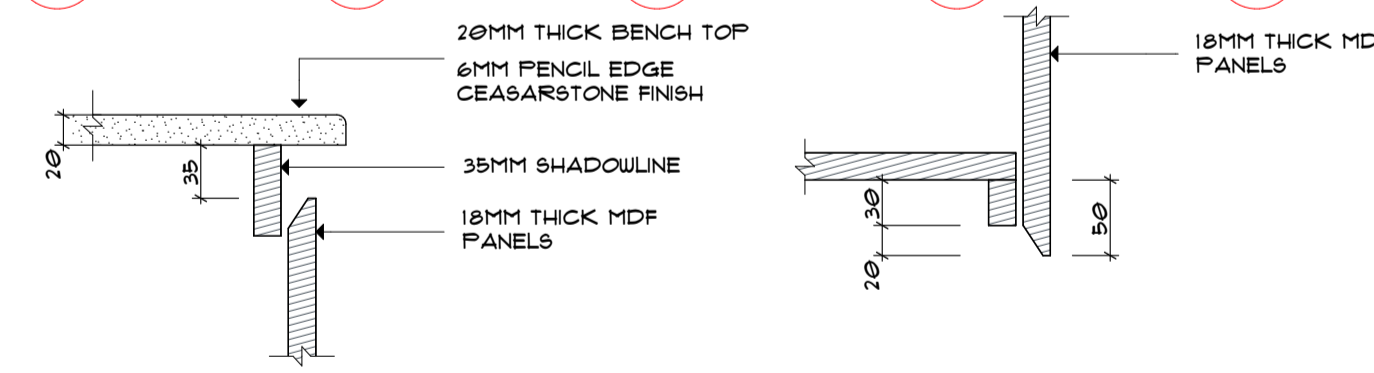
CLIENT TO CONFIRM HEIGHT OF ALL SMART BOARDS ON SITE



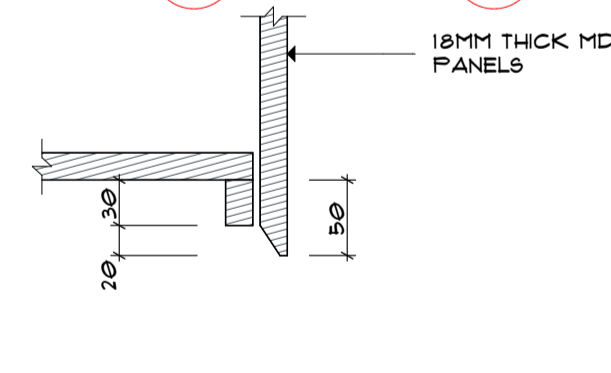
3D BREAKOUT
SCALE 1:181.87



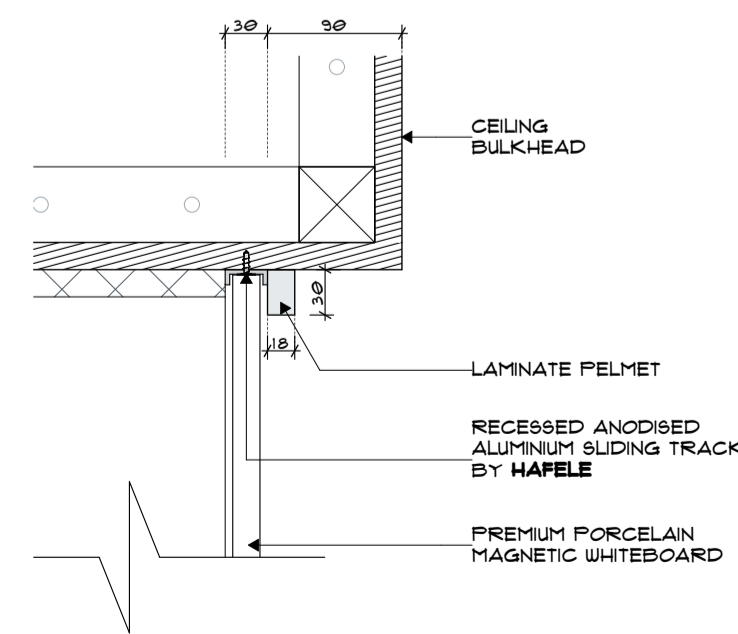
J02 JOINERY 3D VIEW
SCALE NTS



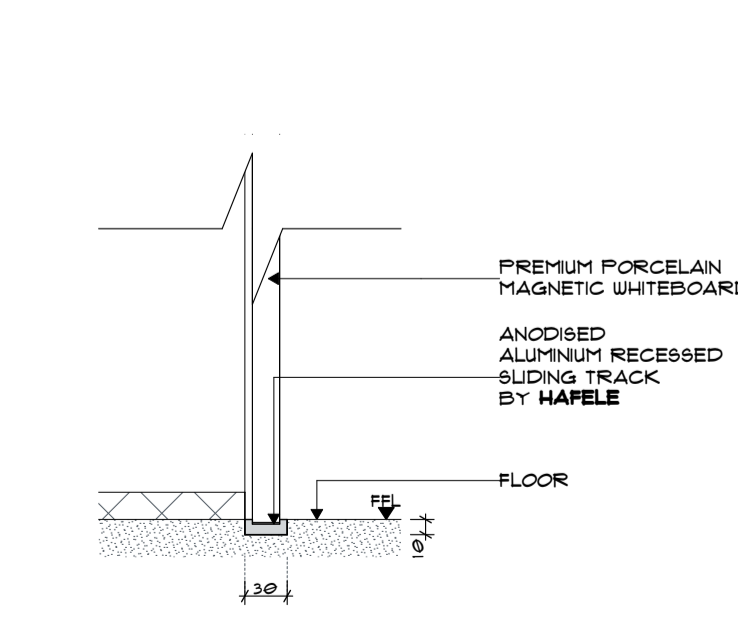
16 FINGERPULL DETAIL
SCALE 1:5



17 FINGERPULL DETAIL
SCALE 1:5



18 TRACK DETAIL
SCALE 1:5



19 TRACK DETAIL
SCALE 1:5

JOINERY NOTES

1. ALL JOINERY DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE FINISHES, FIXTURES AND FITTINGS SCHEDULES.
2. ALL CARCASSES, SKIRTING, DOORS AND DRAWERS TO BE FINISHED IN 18MM MDF UNLESS OTHERWISE NOTED.
3. ALL INTERNAL SHELVES TO BE ADJUSTABLE (ADJ) WITH CHROME UJGS, AND FINISHED IN 25MM MDF UNLESS OTHERWISE NOTED.
4. ALL INTERNAL CARCASSES AND SHELVES ARE TO BE FINISHED IN WHITE MELAMINE UNLESS OTHERWISE NOTED.
5. JOINERY IN WET AREAS TO BE CONSTRUCTED FROM HMR BOARD.
6. ALL CUPBOARD DOORS AND DRAWERS TO HAVE CLEAR CUSHION STOPS.
7. ALL PROPRIETARY ITEMS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATION.
8. WHERE JOINERY REQUIRES LOCKING, ALL LOCKS ON THAT ITEM MUST BE KEYPED ALIKE AND FINISHED IN SATIN CHROME.
9. ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO MANUFACTURE.
10. ALL FIXINGS TO BE CONCEALED, EXPOSED SCREWS TO INTERNAL CARCASSES TO HAVE PLASTIC CAPS FIXED OVER TO MATCH FINISH.
11. PROVIDE A 10MM SCRIBE PIECE TO ALL JOINERY ABUTTING WALLS, FINISH TO MATCH UNLESS OTHERWISE NOTED.
12. ALL SUPPORT LEGS ON JOINERY TO HAVE LEVELING FEET.
13. JOINER TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO MANUFACTURE.
14. ALLOW TO SCRIBE ALL UNITS TO UNEVEN FLOORS.



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For Construction
Joinery Drawing

Job Number: PH947 Building Level: L0
Date: 10/12/2020 Scale: Various @ A1
Drawn: JR Checked: EF

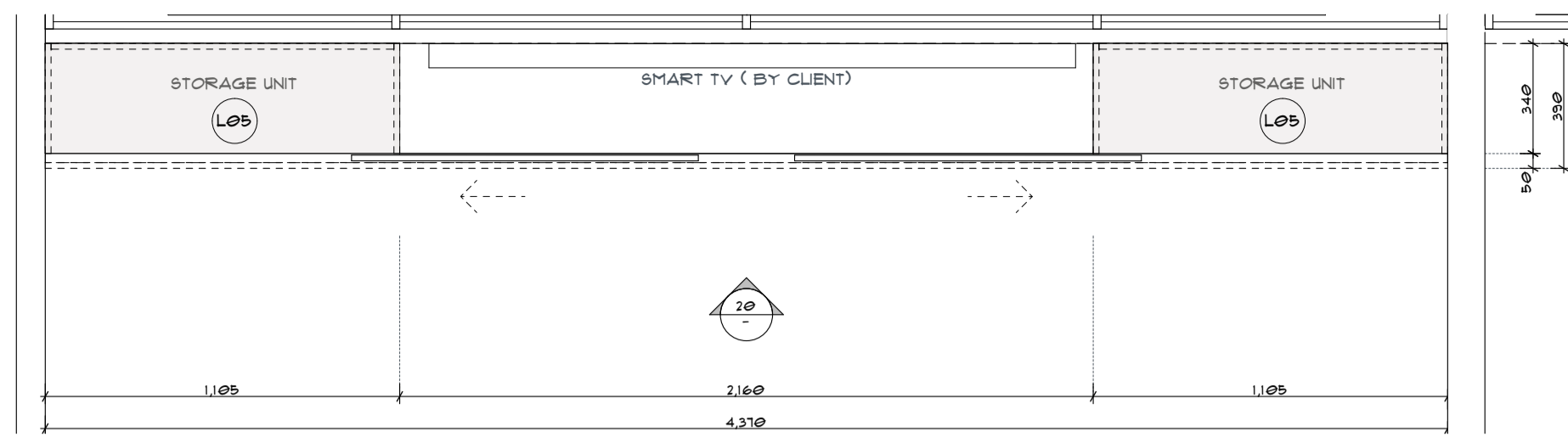
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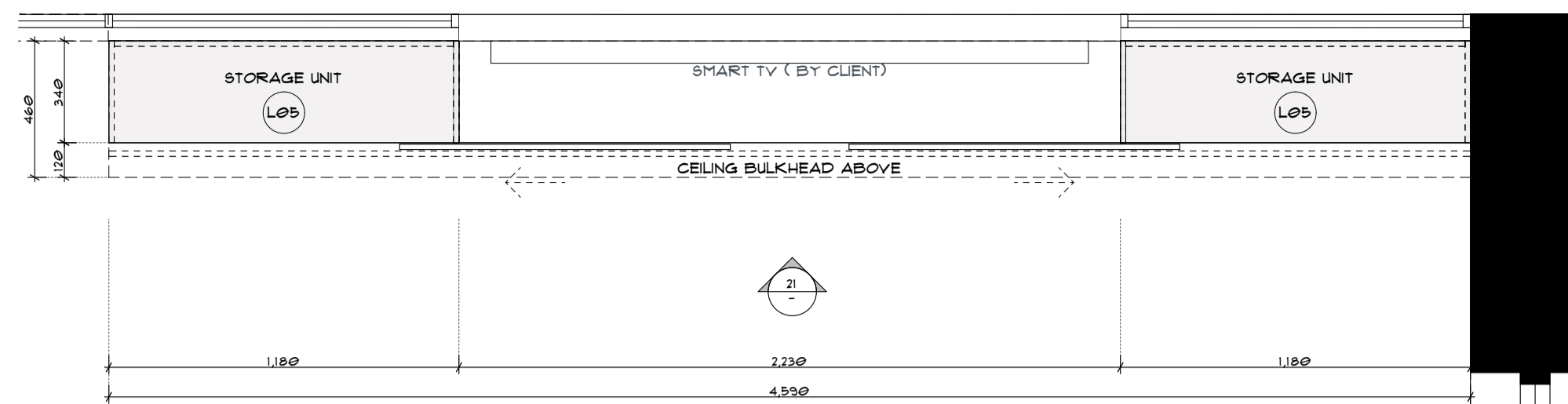


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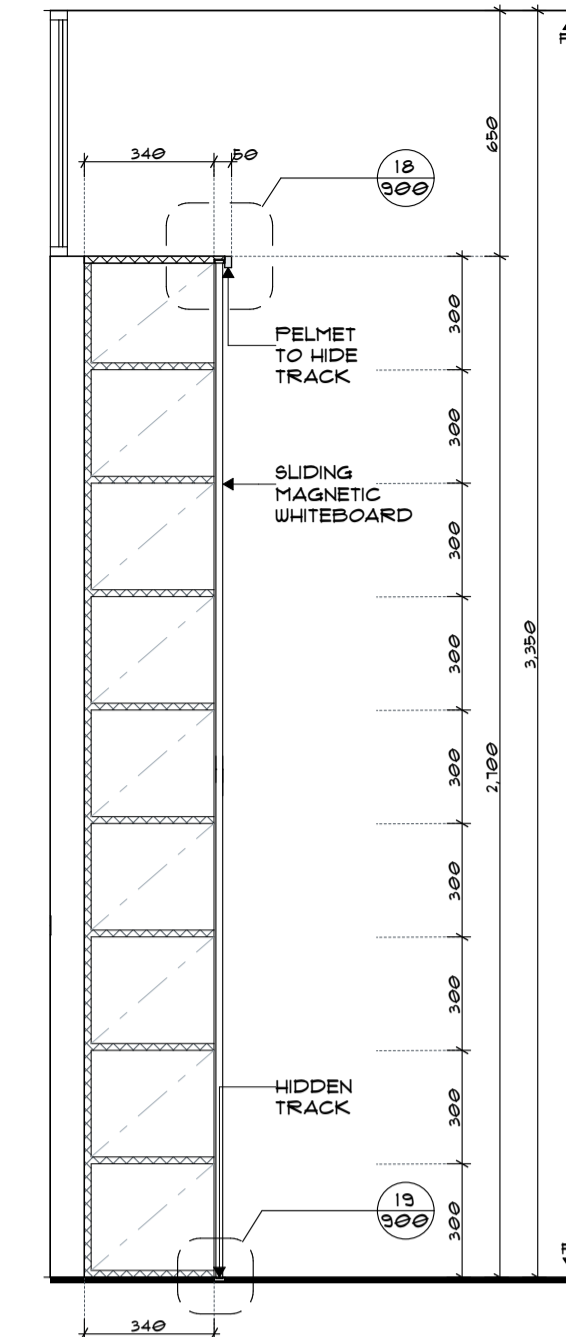
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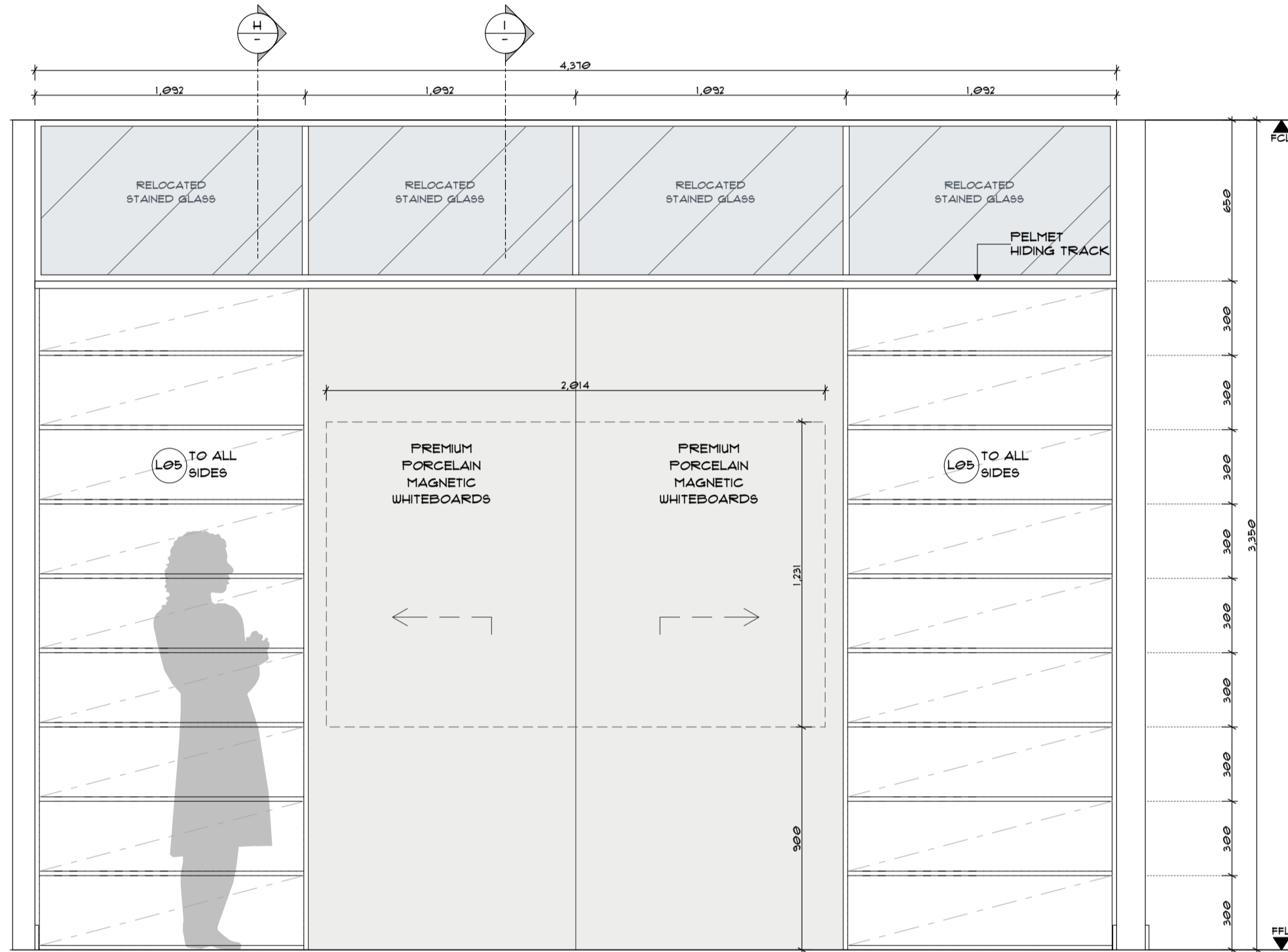
J03 JOINERY PLAN
SCALE 1:20



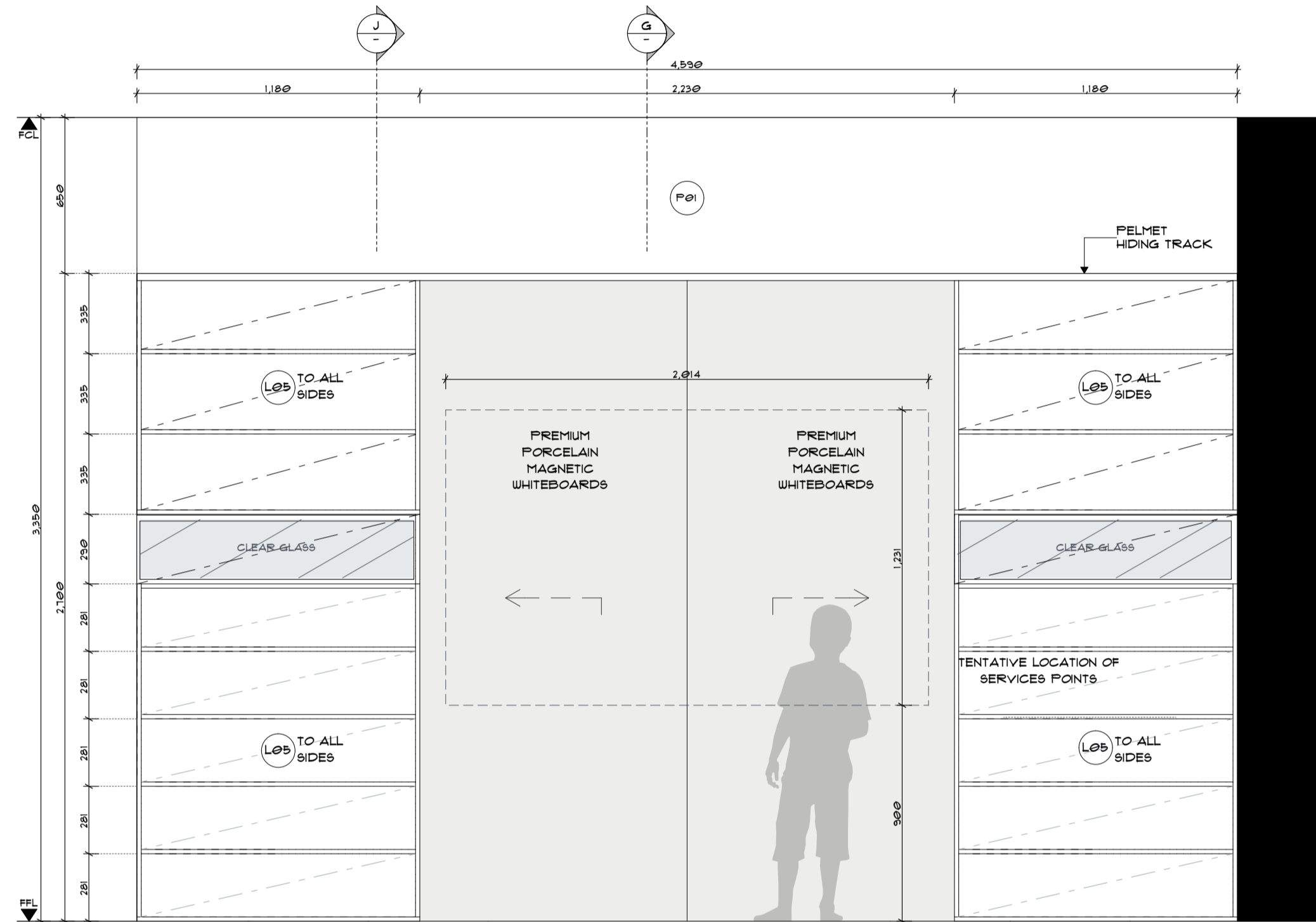
J04 JOINERY PLAN
SCALE 1:20



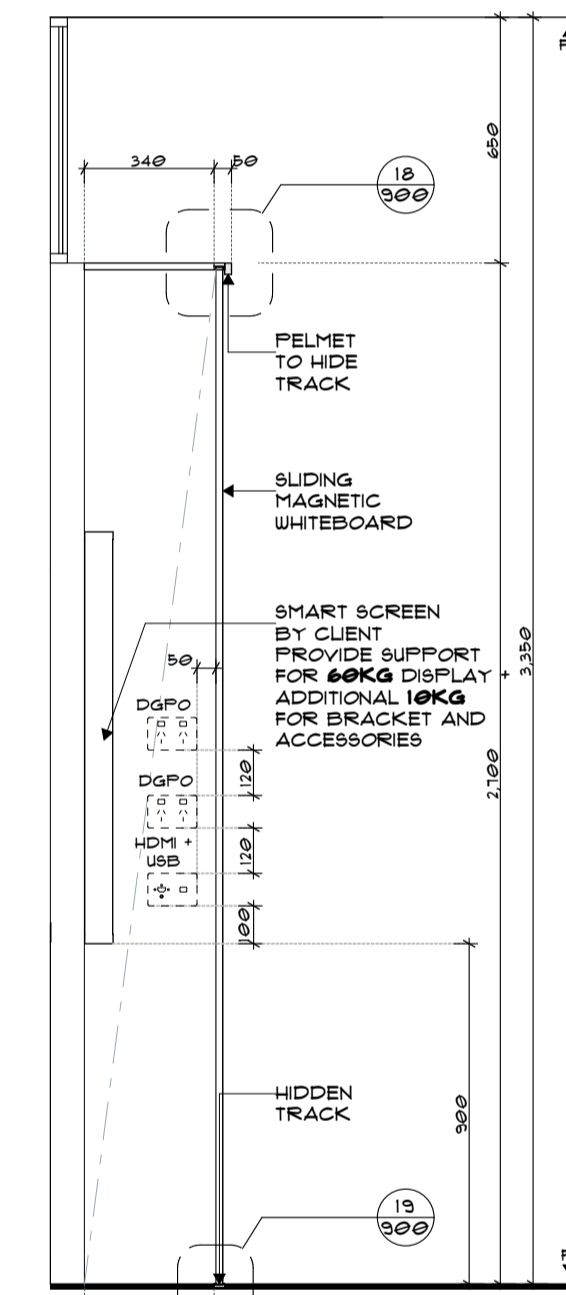
H JOINERY SECTION
SCALE 1:20



20 JOINERY ELEVATION
SCALE 1:20

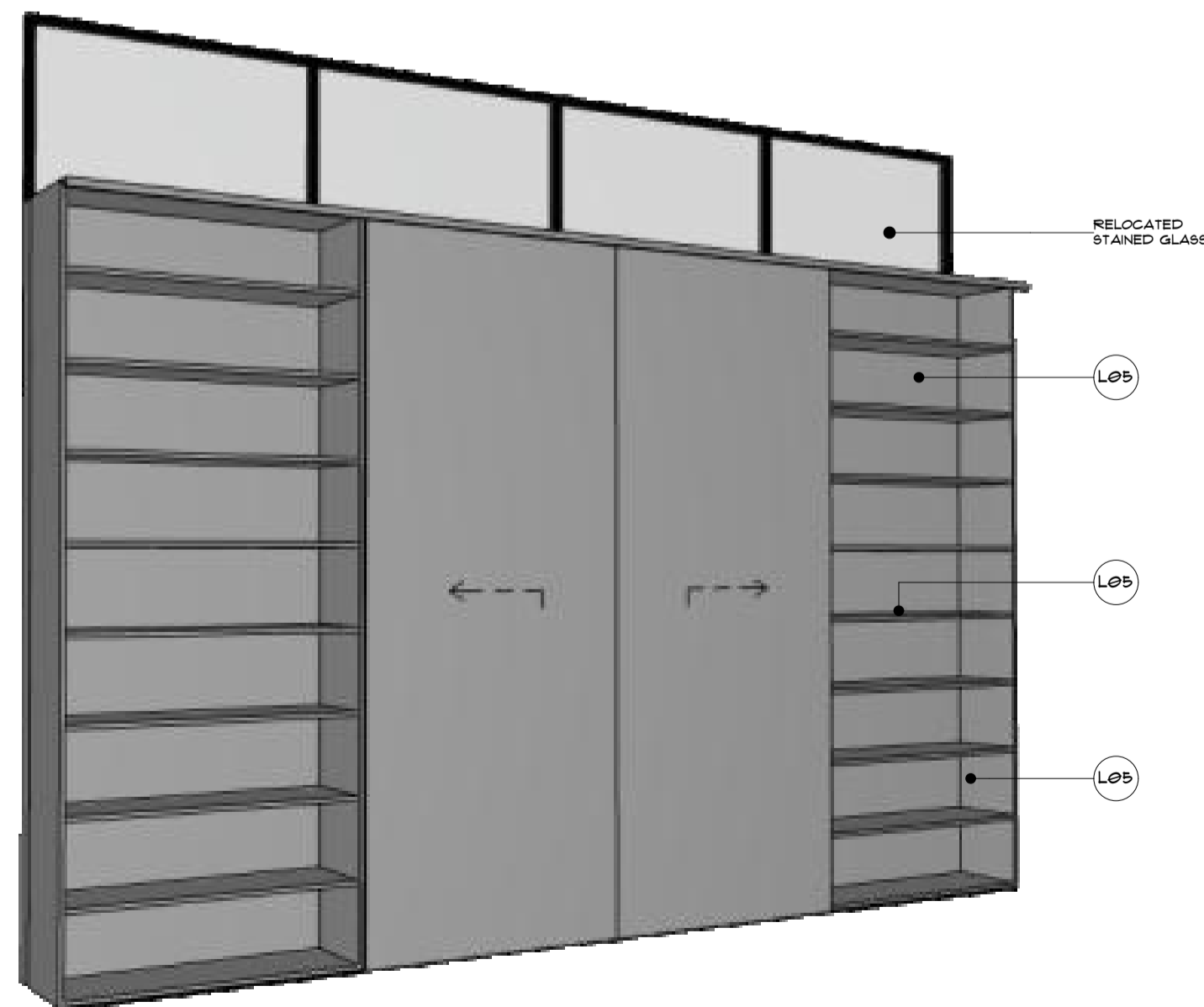


21 JOINERY ELEVATION
SCALE 1:20

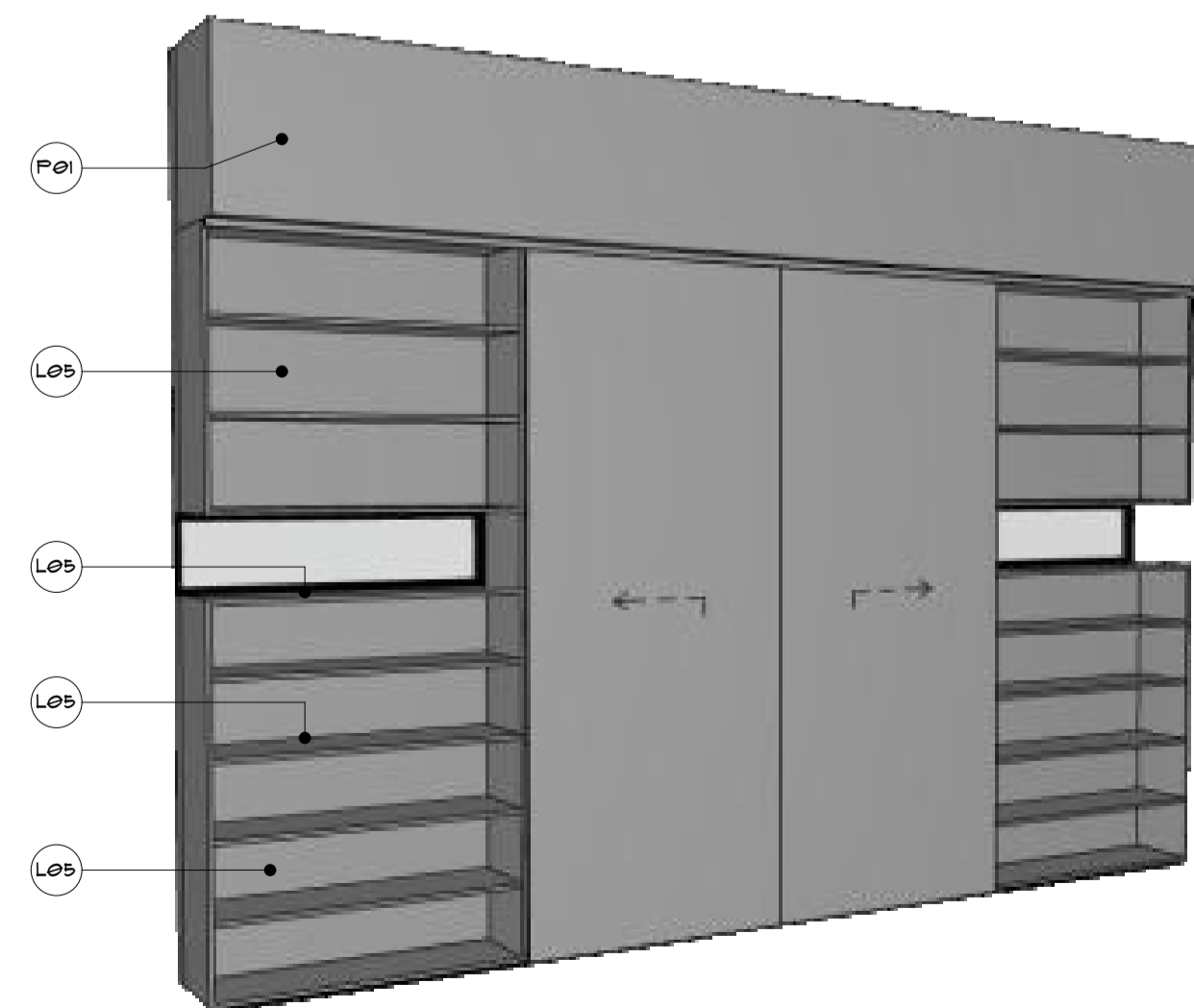


I JOINERY SECTION
SCALE 1:20

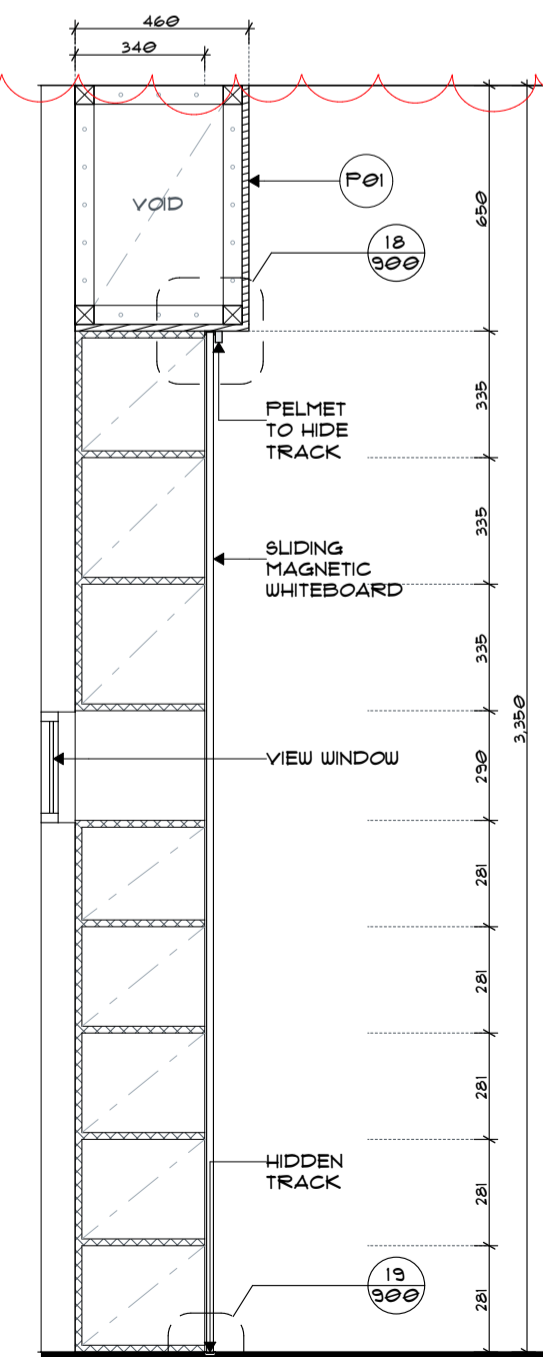
CLIENT TO CONFIRM HEIGHT OF ALL SMART BOARDS ON SITE



J03 JOINERY 3D VIEW
SCALE NT5



J04 JOINERY 3D VIEW
SCALE NT5



J JOINERY SECTION
SCALE 1:20

JOINERY NOTES

- ALL JOINERY DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE FINISHES, FIXTURES AND FITTINGS SCHEDULES.
- ALL CARCASSES, SKIRTING, DOORS AND DRAWERS TO BE FINISHED IN 18MM MDF UNLESS OTHERWISE NOTED.
- ALL INTERNAL SHELVES TO BE ADJUSTABLE (ADJ) WITH CHROME LEGS, AND FINISHED IN 25MM MDF UNLESS OTHERWISE NOTED.
- ALL INTERNAL CARCASSES AND SHELVES ARE TO BE FINISHED IN WHITE MELAMINE UNLESS OTHERWISE NOTED.
- JOINERY IN WET AREAS TO BE CONSTRUCTED FROM HMR BOARD.
- ALL CUPBOARD DOORS AND DRAWERS TO HAVE CLEAR CUSHION STOPS.
- ALL PROPRIETARY ITEMS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATION.
- WHERE JOINERY REQUIRES LOCKING, ALL LOCKS ON THAT ITEM MUST BE KEYED ALIKE AND FINISHED IN SATIN CHROME.
- ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO MANUFACTURE.
- ALL FIXINGS TO BE CONCEALED, EXPOSED SCREWS TO INTERNAL CARCASSES TO HAVE PLASTIC CAPS FIXED OVER TO MATCH FINISH.
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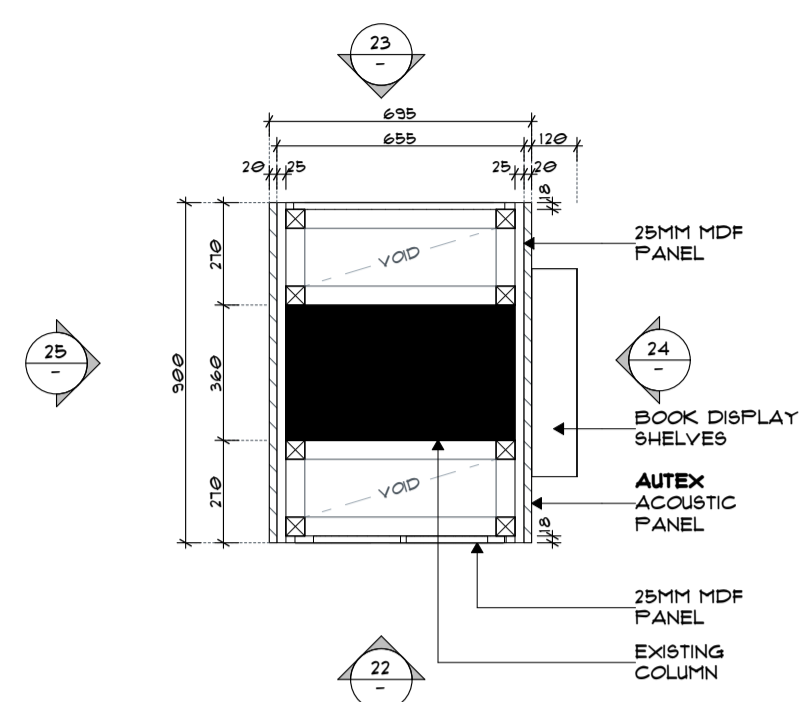
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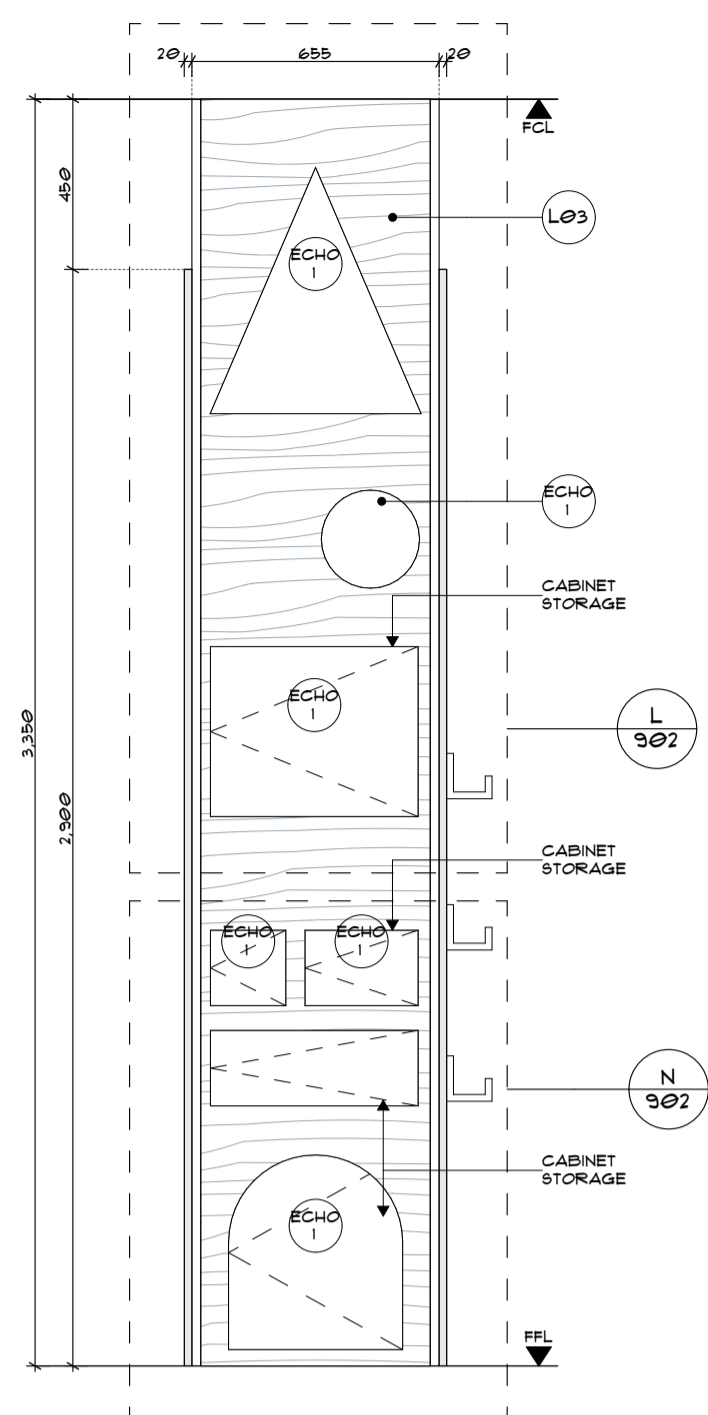
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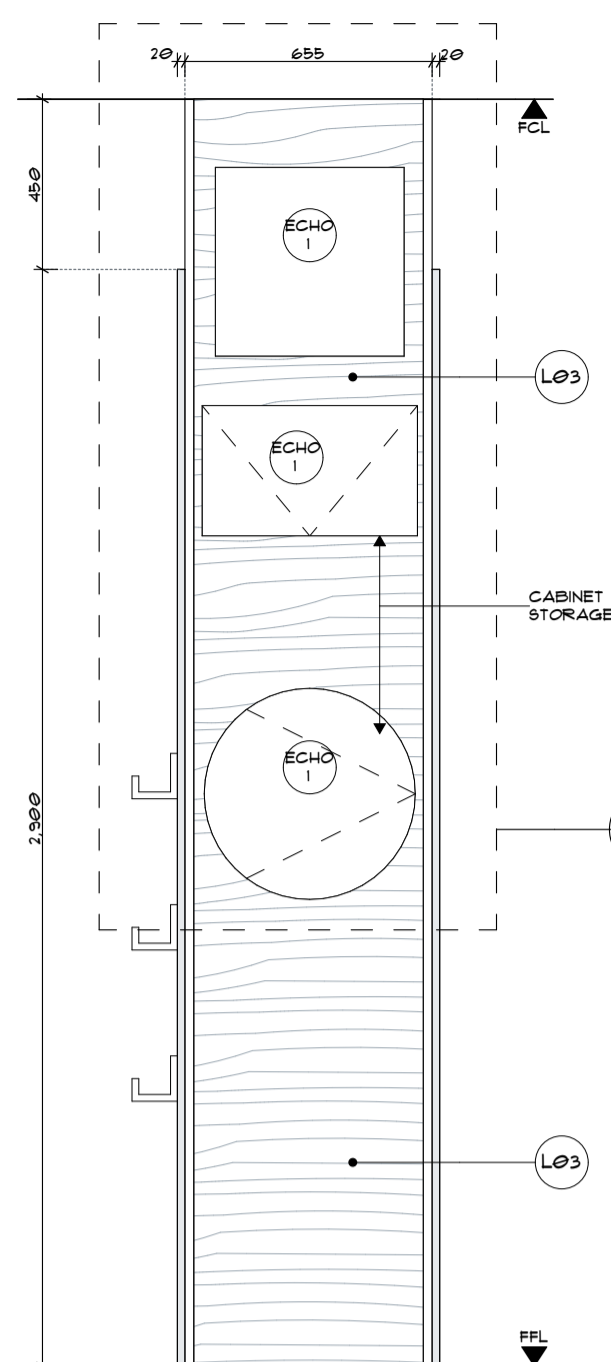
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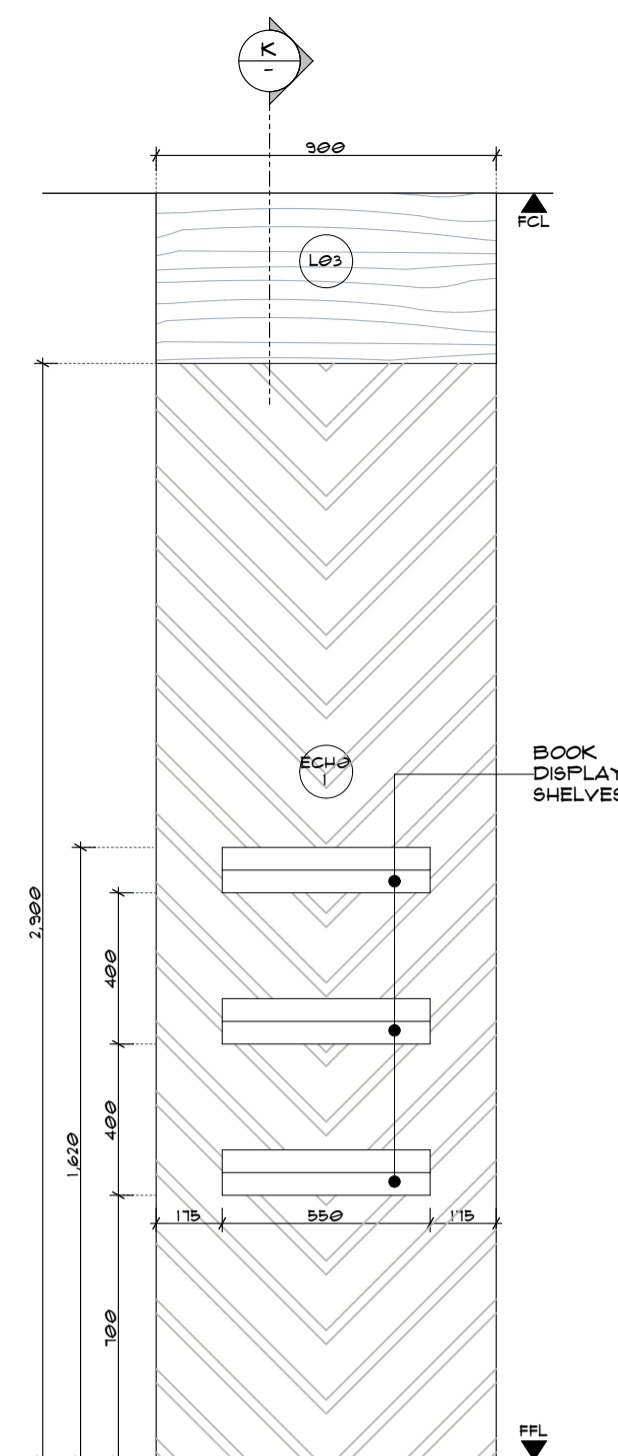
J05 COLUMN STORAGE PLAN
SCALE 1:20



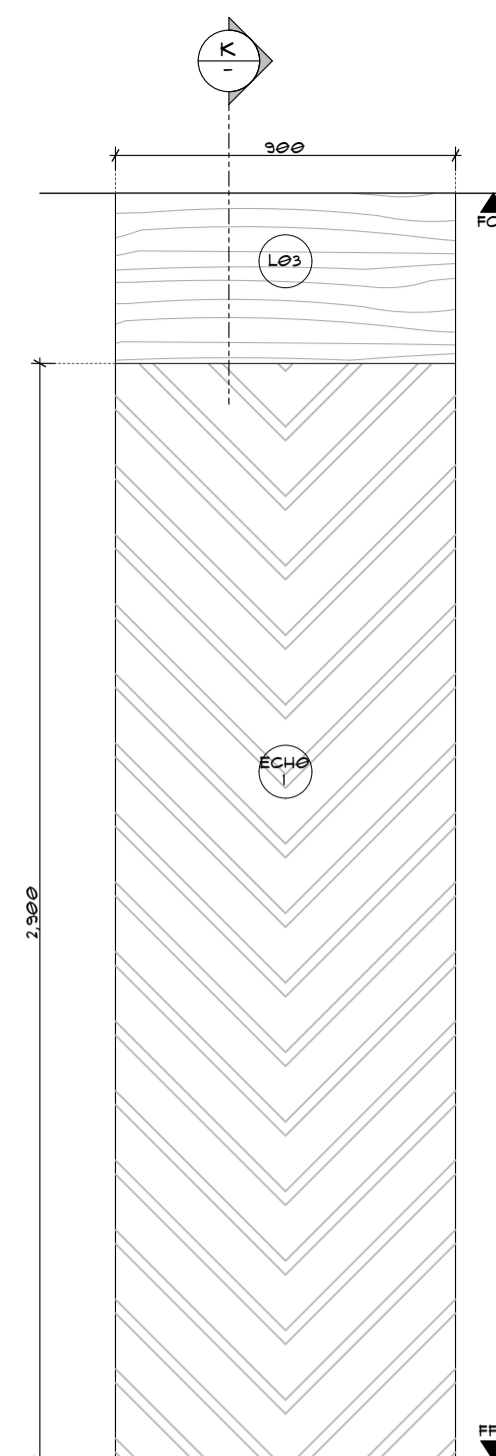
22 JOINERY ELEVATION
SCALE 1:20



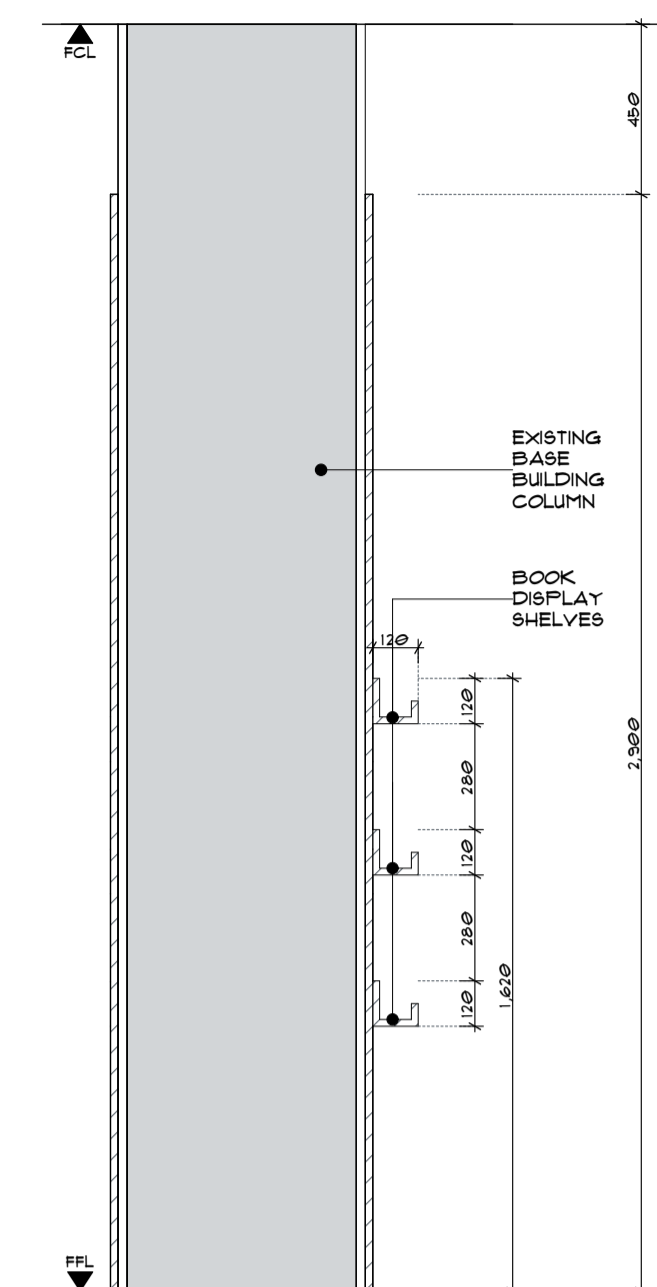
23 JOINERY ELEVATION
SCALE 1:20



24 JOINERY ELEVATION
SCALE 1:20



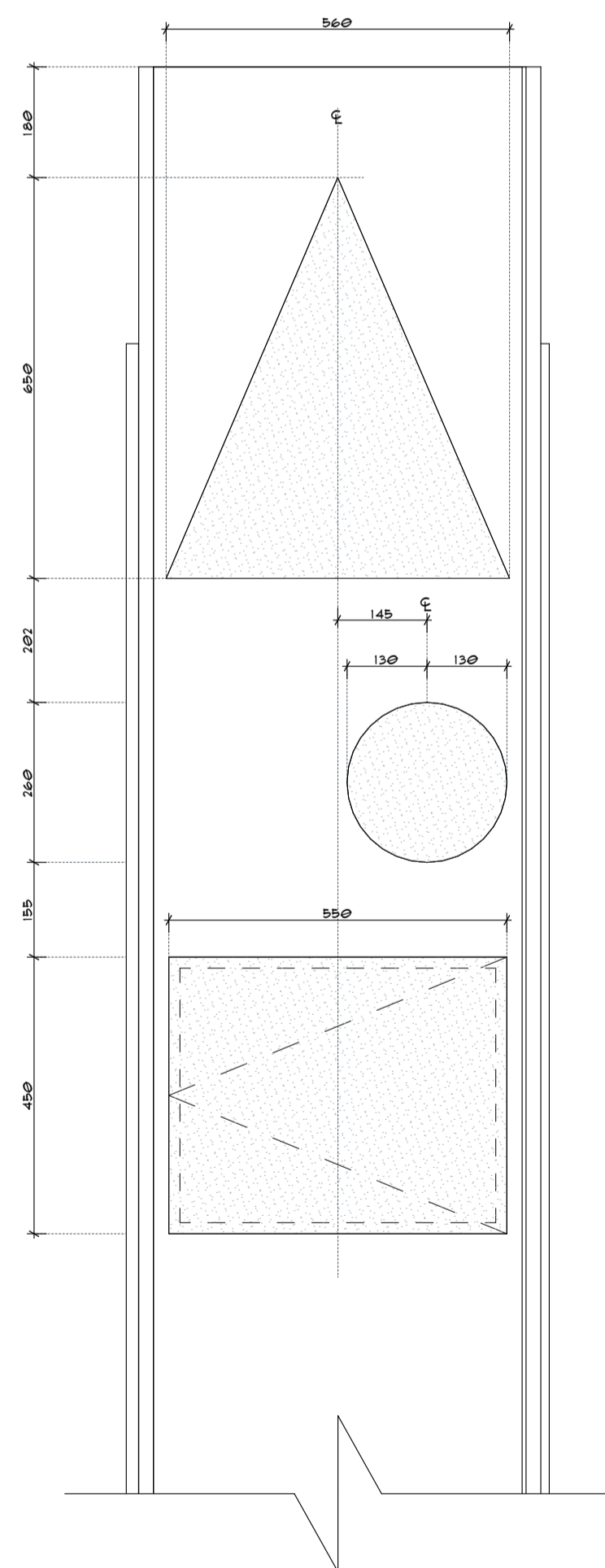
25 JOINERY ELEVATION
SCALE 1:20



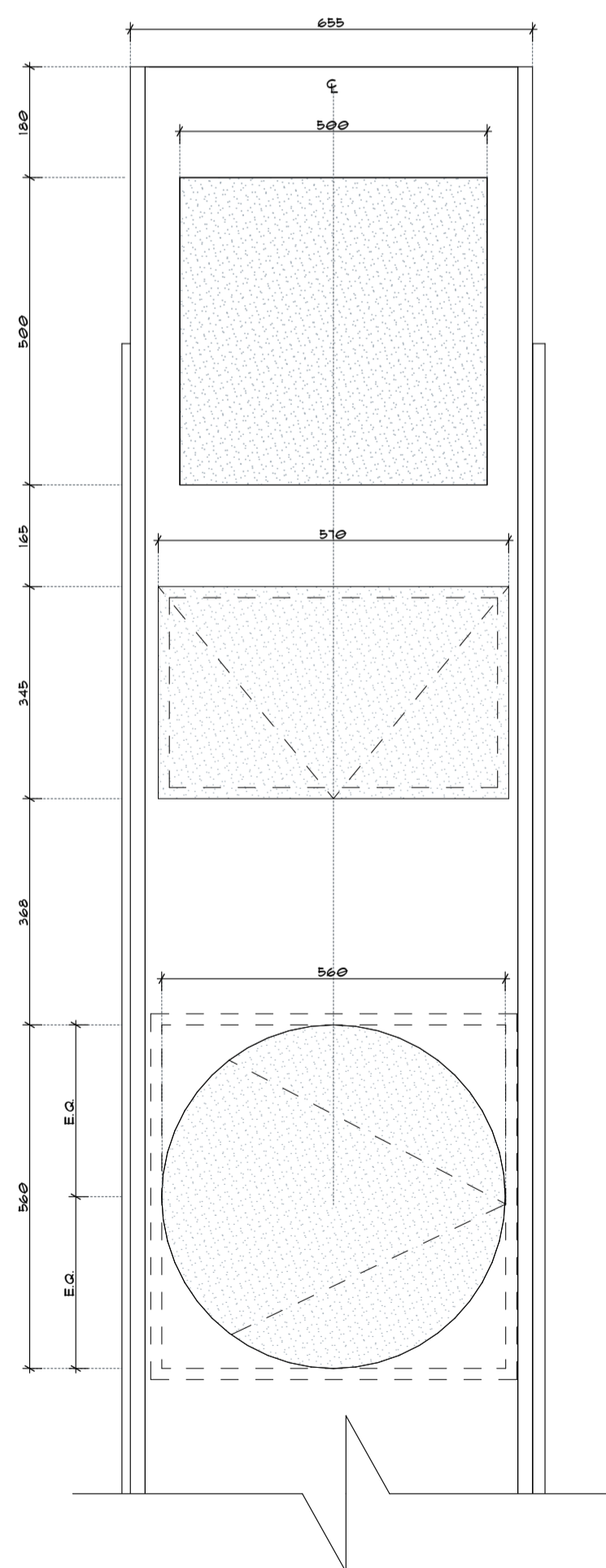
K JOINERY SECTION
SCALE 1:20

JOINERY NOTES

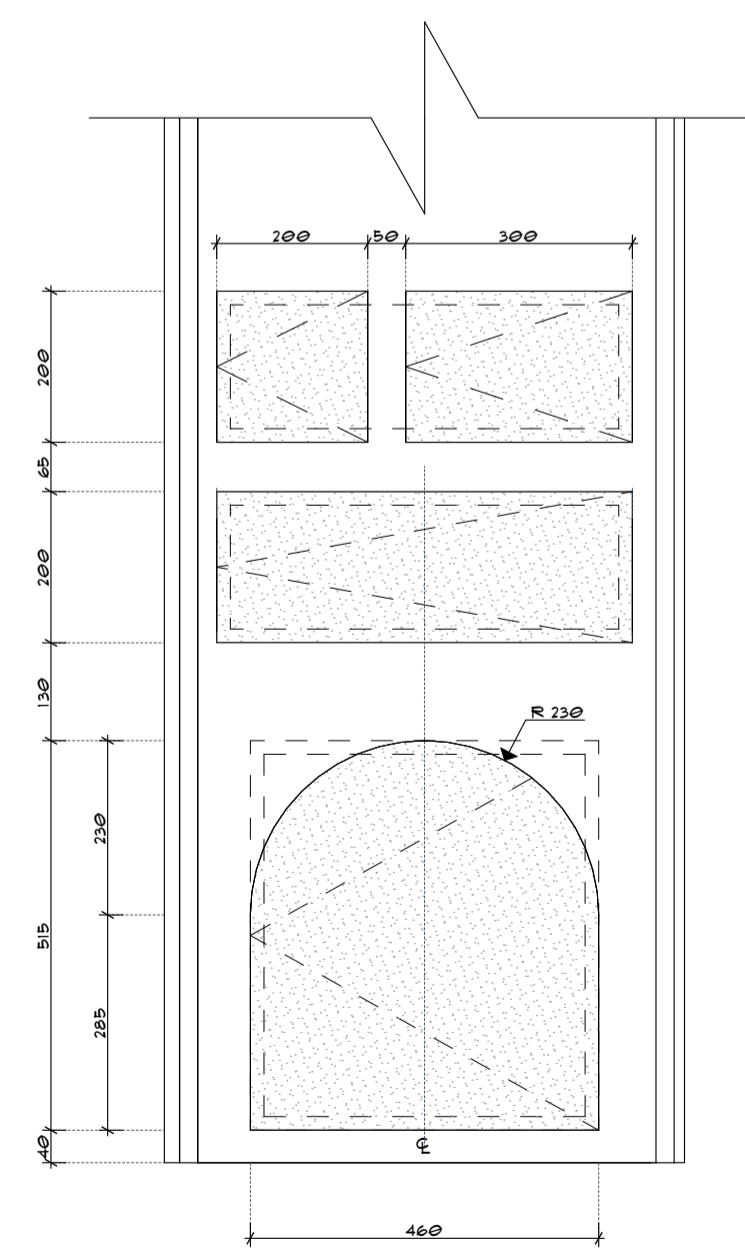
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11. PROVIDE A 10MM SCRIBE PIECE TO ALL JOINERY ABUTTING WALLS, FINISH TO MATCH UNLESS OTHERWISE NOTED.
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13. JOINER TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO MANUFACTURE.
14. ALLOW TO SCRIBE ALL UNITS TO UNEVEN FLOORS.



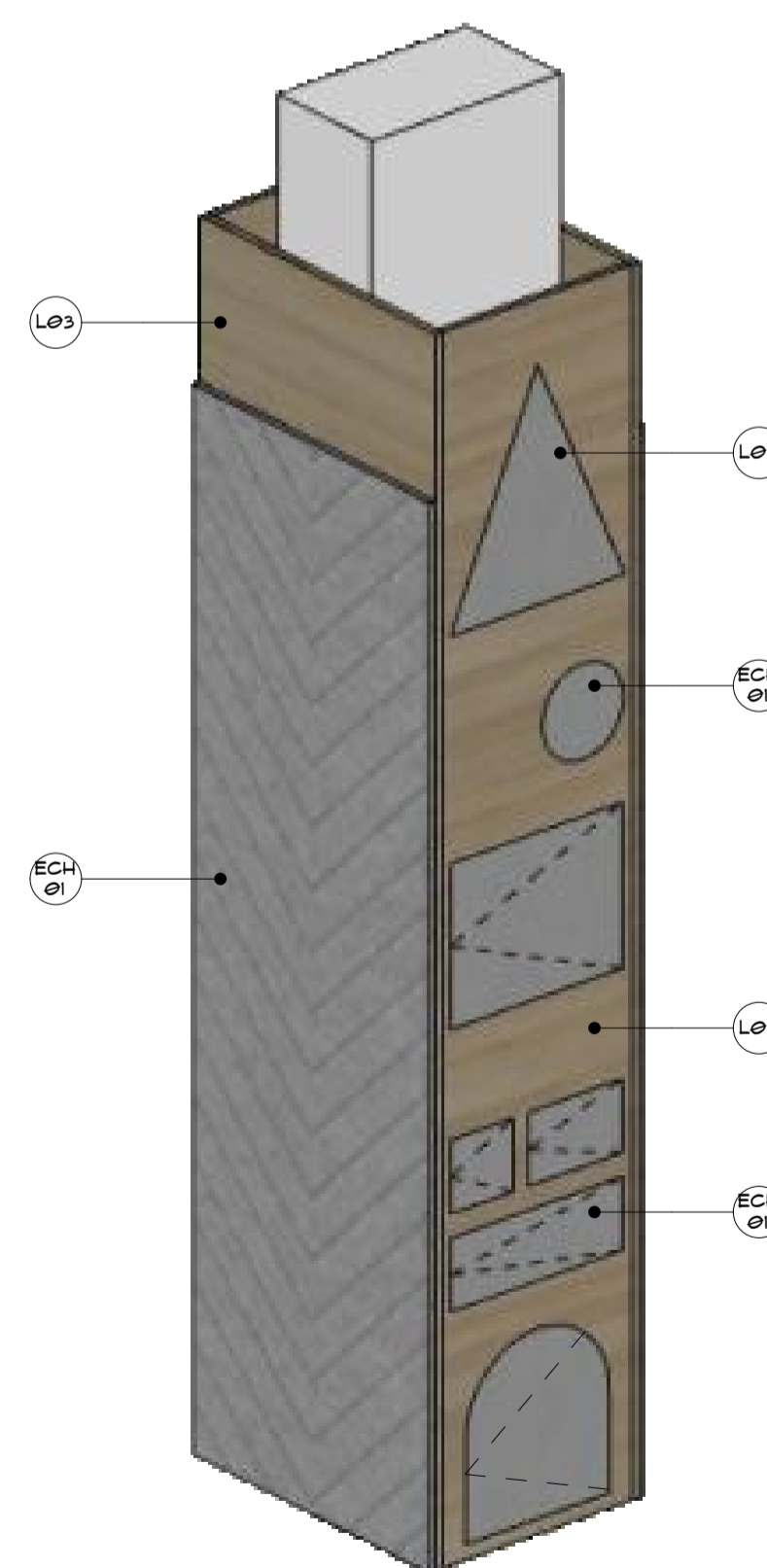
L JOINERY DETAIL
SCALE 1:10



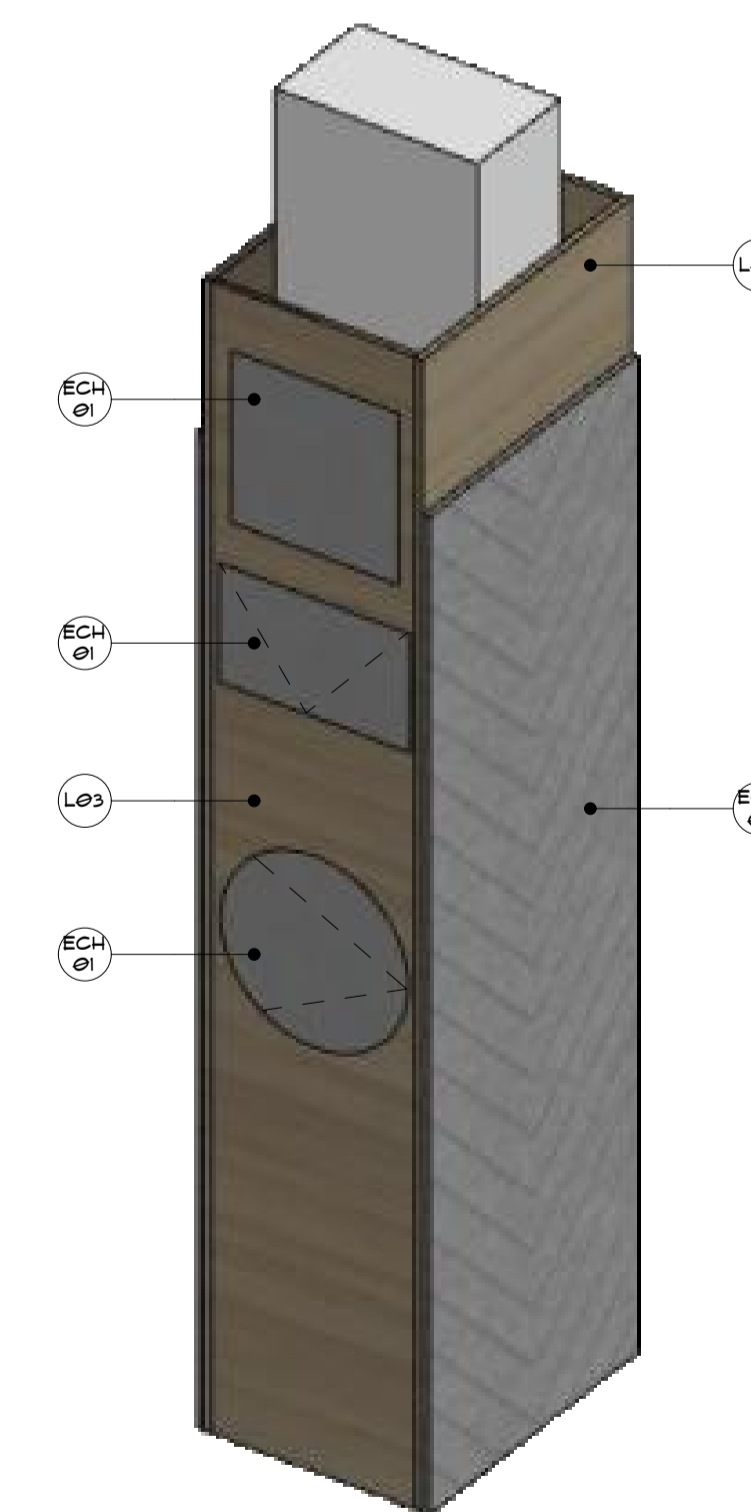
M JOINERY DETAIL
SCALE 1:10



N JOINERY DETAIL
SCALE 1:10

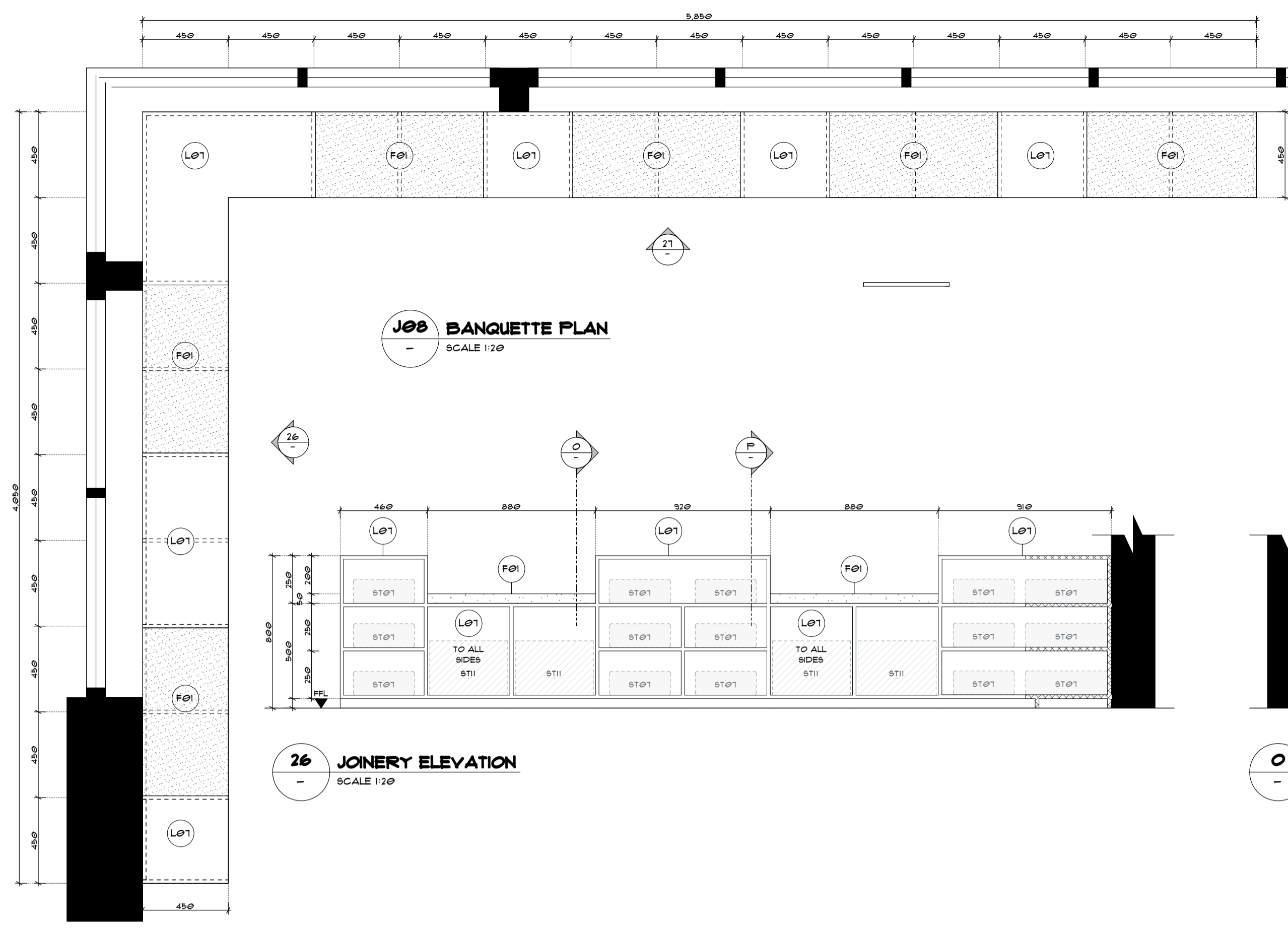


J05 COLUMN STORAGE 3D VIEW
SCALE NTS



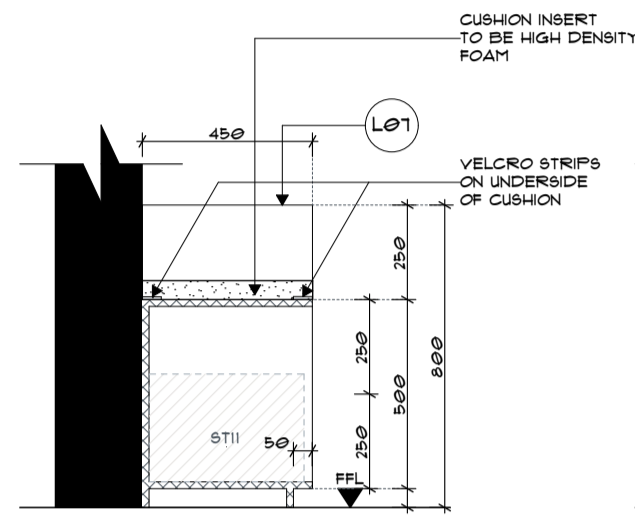
J05 COLUMN STORAGE 3D VIEW
SCALE NTS



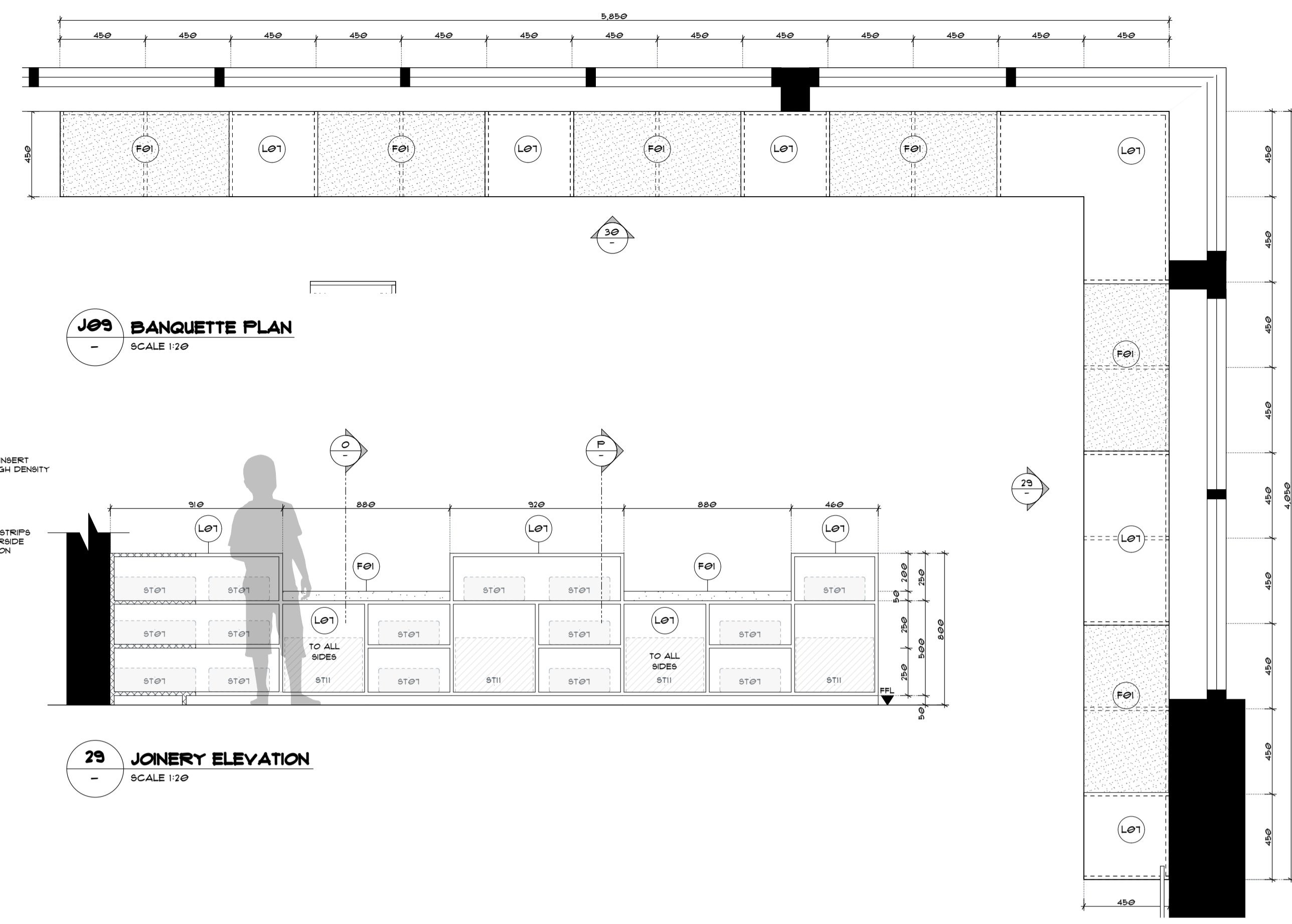


J08 BANQUETTE PLAN
SCALE 1:20

26 JOINERY ELEVATION
SCALE 1:20

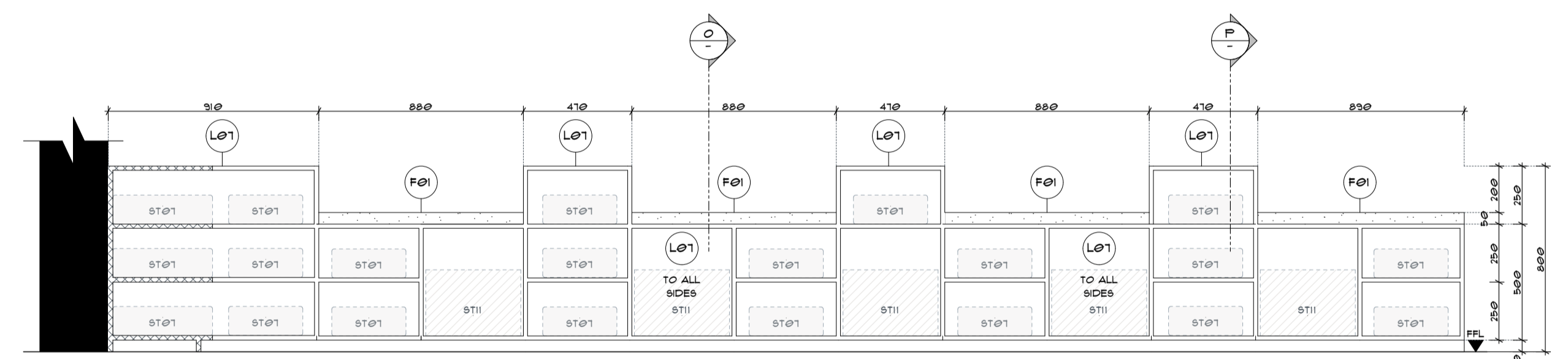


0 JOINERY SECTION
SCALE 1:20

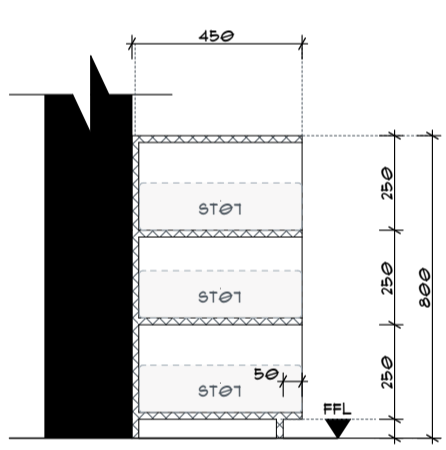


J09 BANQUETTE PLAN
SCALE 1:20

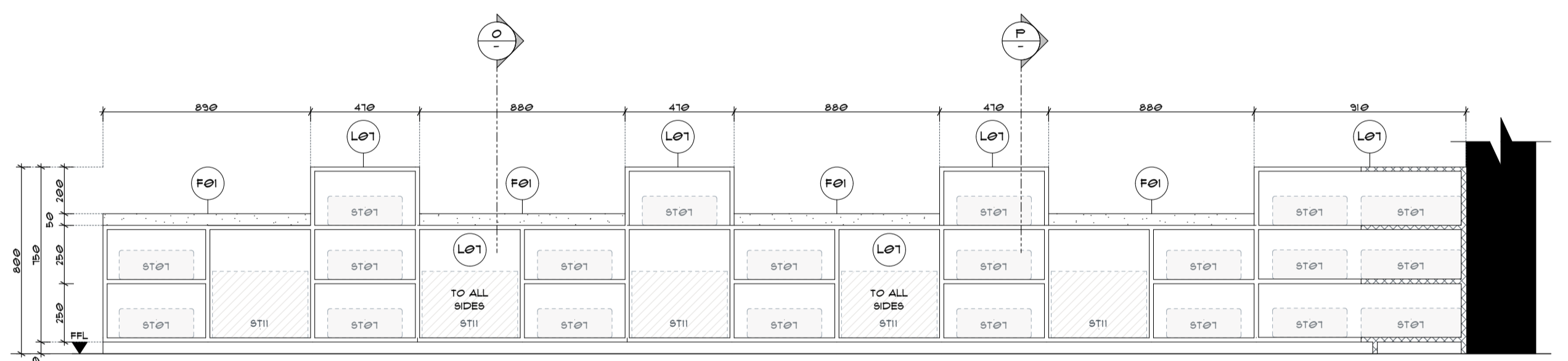
29 JOINERY ELEVATION
SCALE 1:20



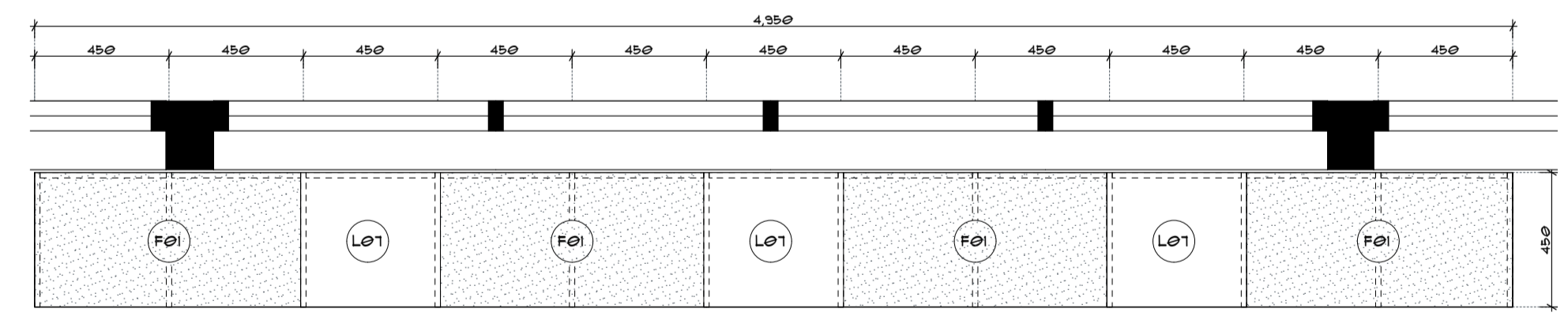
21 JOINERY ELEVATION
SCALE 1:20



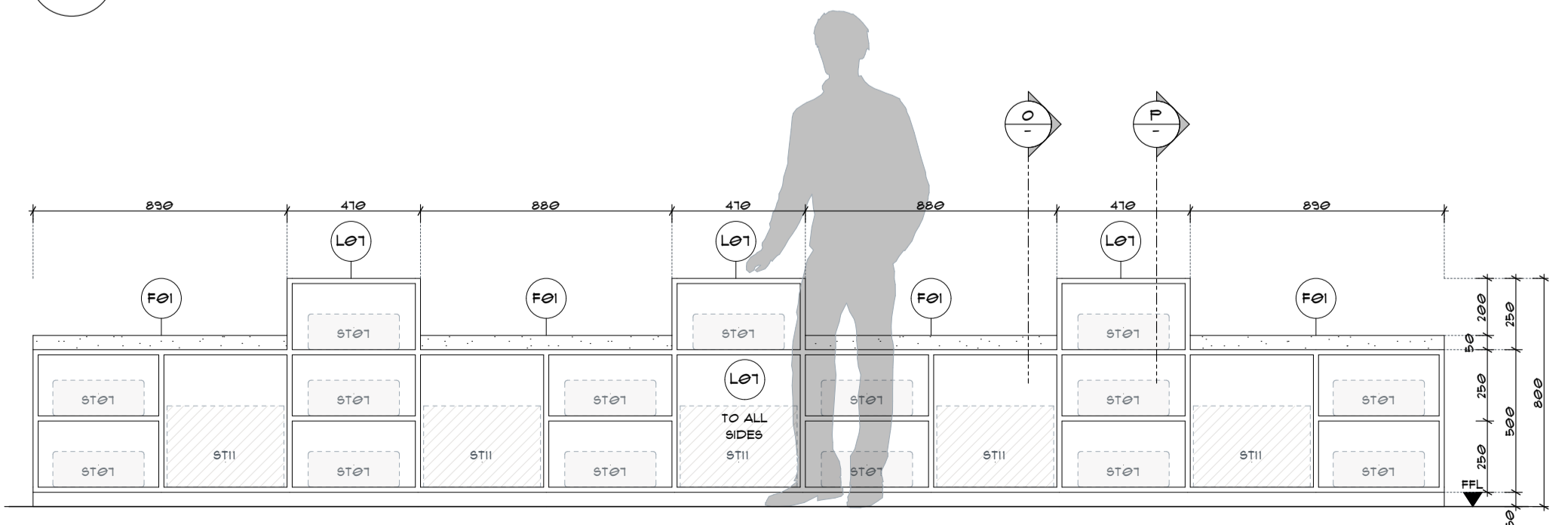
P JOINERY SECTION
SCALE 1:20



30 JOINERY ELEVATION
SCALE 1:20



J10 JOINERY ELEVATION
SCALE 1:20



28 JOINERY ELEVATION
SCALE 1:20



**SCOTCHGUARD ALL CUSHIONS.
ALL CUSHIONS TO BE
REMOVABLE WITH ZIPS**

JOINERY NOTES

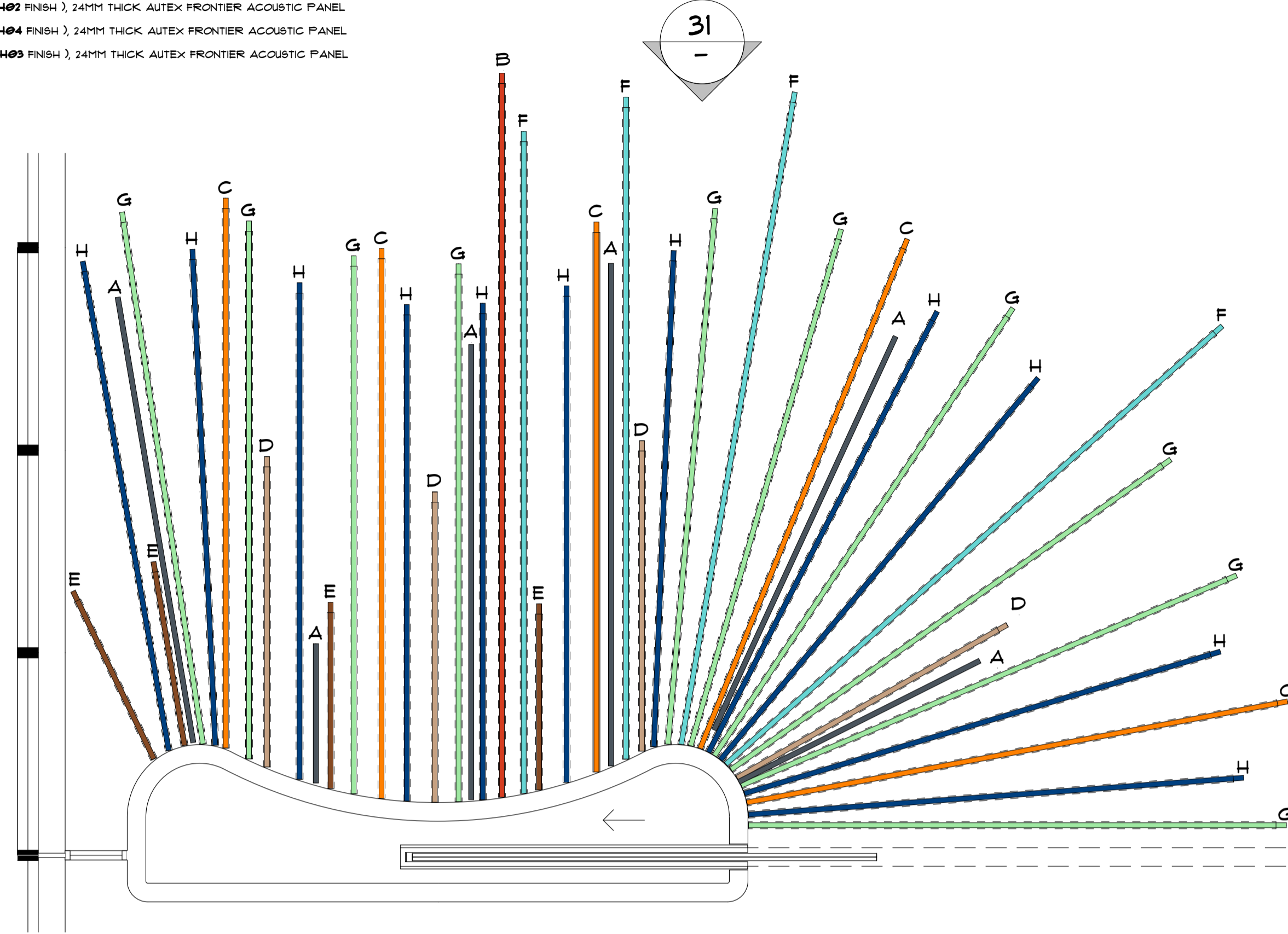
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9. ALL DIMENSIONS ARE TO BE CHECKED ON SITE PRIOR TO MANUFACTURE.
10. ALL FIXINGS TO BE CONCEALED, EXPOSED SCREWS TO INTERNAL CARCASSES TO HAVE PLASTIC CAPS FIXED OVER TO MATCH FINISH.
11. PROVIDE A 10MM SCRIBE PIECE TO ALL JOINERY ABUTTING WALLS, FINISH TO MATCH UNLESS OTHERWISE NOTED.
12. ALL SUPPORT LEGS ON JOINERY TO HAVE LEVELING FEET.
13. JOINER TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO MANUFACTURE.
14. ALLOW TO SCRIBE ALL UNITS TO UNEVEN FLOORS.

J10 FURNITURE 3D VIEW
SCALE: NTS

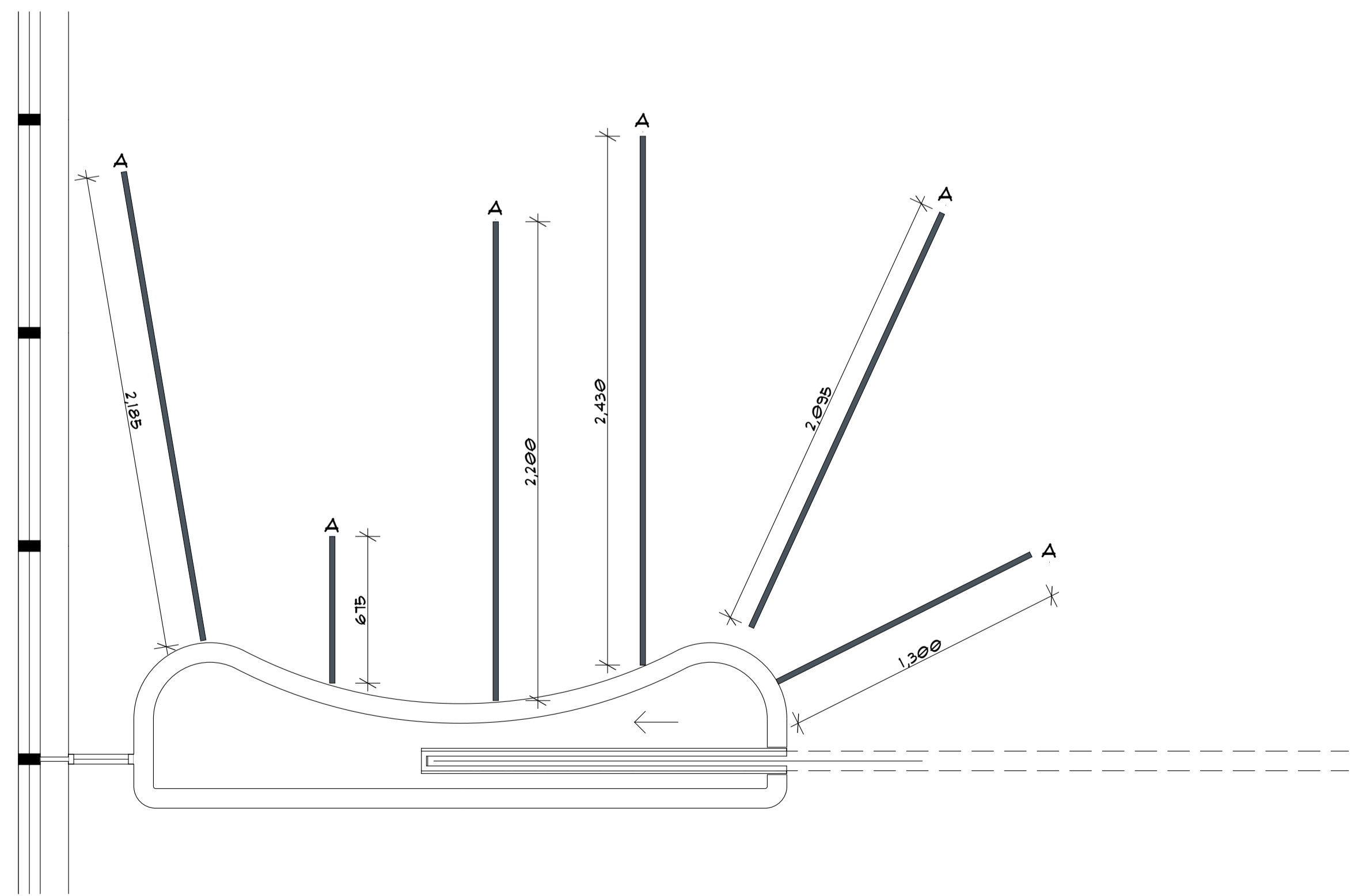


LEGEND:

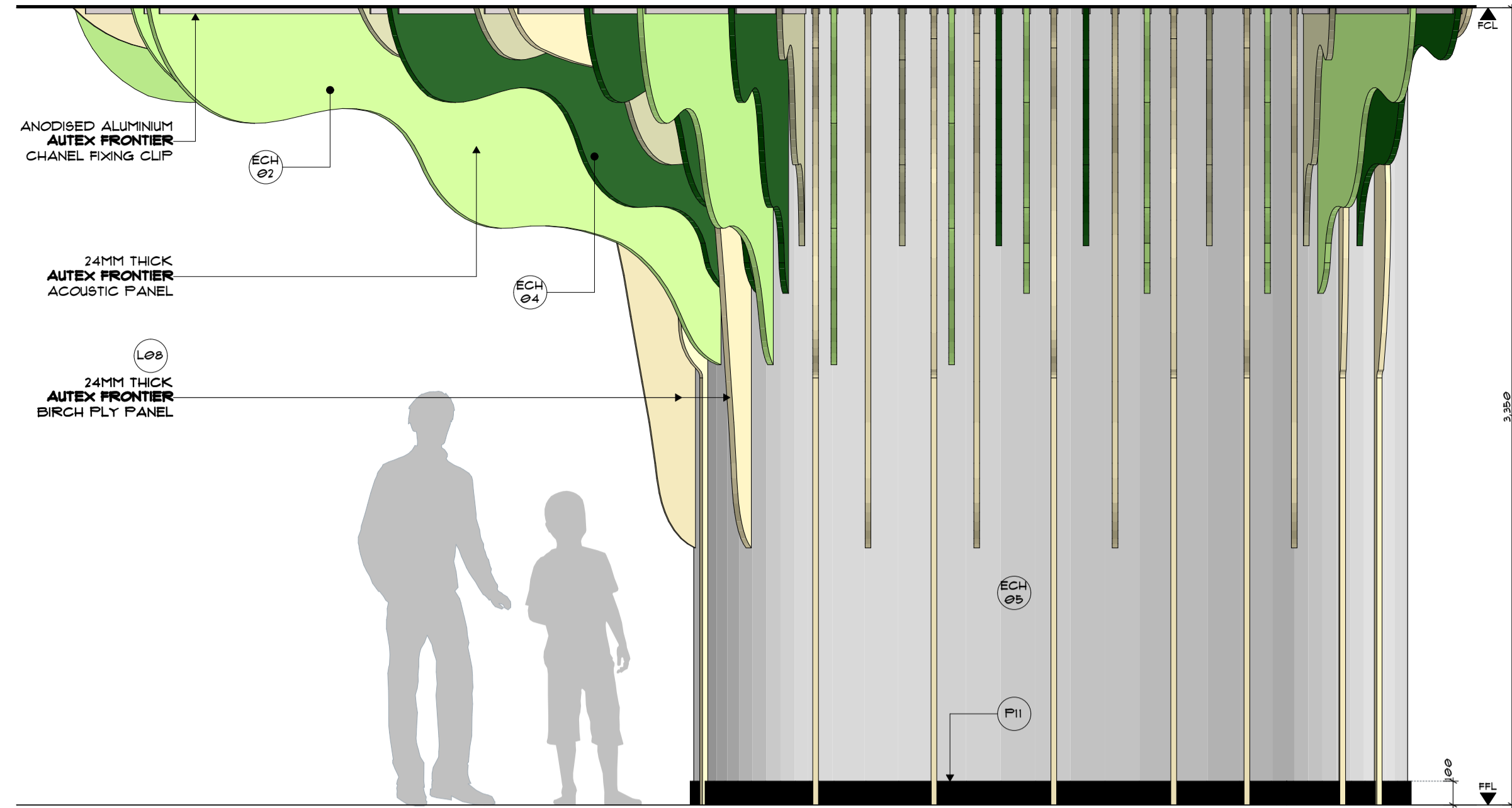
- A = LED STRIP LIGHT (Ø6 PCB)
- B = L3500MM (L08 FINISH), 24MM THICK AUTEX FRONTIER BIRCH PLY PANEL
- C = L2660MM (L08 FINISH), 24MM THICK AUTEX FRONTIER BIRCH PLY PANEL
- D = L1500MM (L08 FINISH), 24MM THICK AUTEX FRONTIER BIRCH PLY PANEL
- E = L850MM (L08 FINISH), 24MM THICK AUTEX FRONTIER BIRCH PLY PANEL
- F = L3200MM (ECH02 FINISH), 24MM THICK AUTEX FRONTIER ACOUSTIC PANEL
- G = L2600MM (ECH04 FINISH), 24MM THICK AUTEX FRONTIER ACOUSTIC PANEL
- H = L2400MM (ECH03 FINISH), 24MM THICK AUTEX FRONTIER ACOUSTIC PANEL



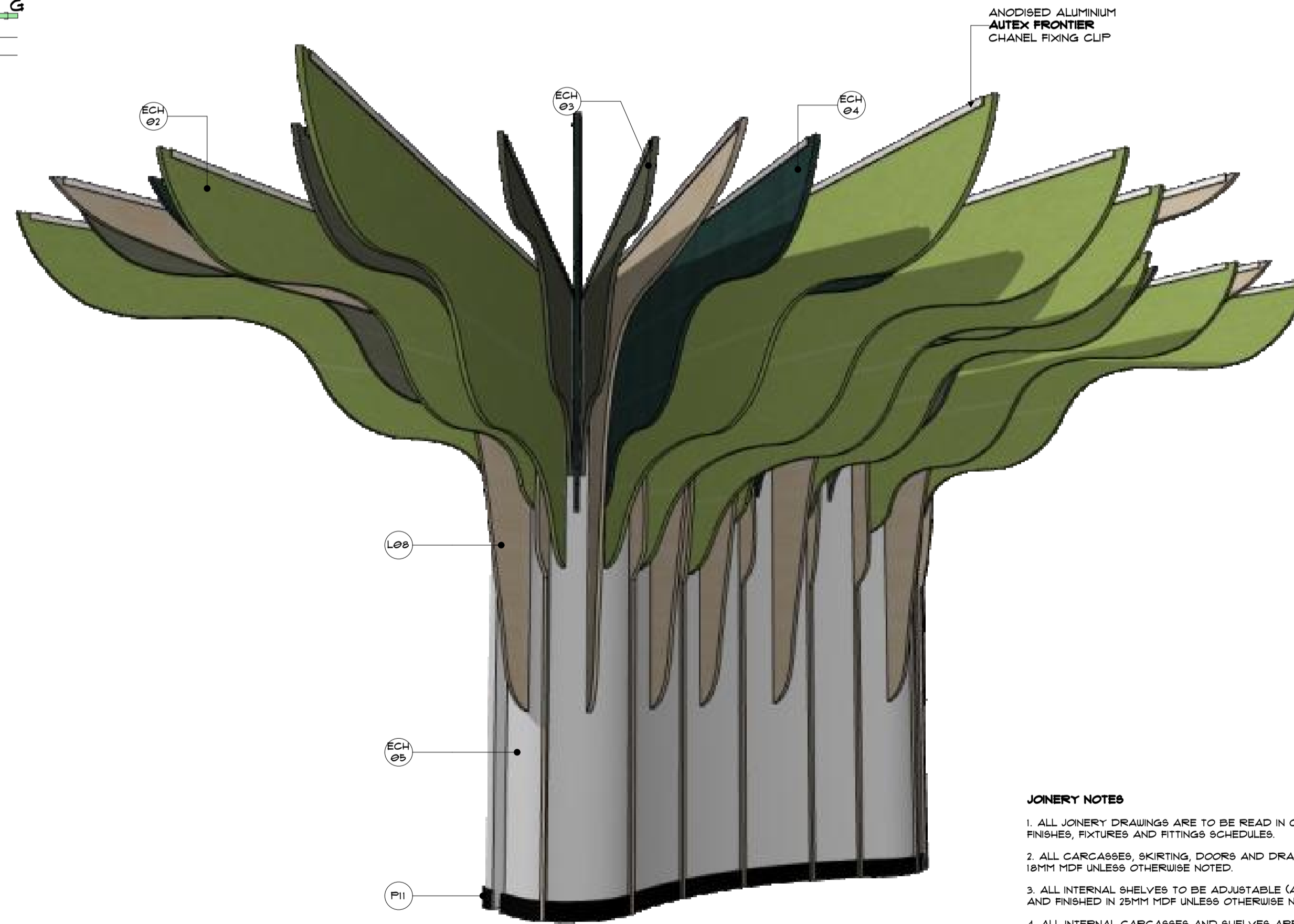
J06 READING TREE PLAN
SCALE 1:20



J06 LED DETAIL
SCALE 1:20



31 READING TREE ELEVATION
SCALE 1:20



J06 READING TREE 3D VIEW
SCALE NTS

JONERY NOTES

1. ALL JOINERY DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE FINISHES, FIXTURES AND FITTINGS SCHEDULES.
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14. ALLOW TO SCRIBE ALL UNITS TO UNEVEN FLOORS.

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C	24.08.2020	GG	For Construction



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SCS Randwick - OLSH

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For Construction

Joinery Drawing

Job Number: PH947 Building Level: L0

Date: 10/12/2020 Scale: Various @ A1

Drawn: JR Checked: EF

904

Drawing Issue:

C



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